

OWNER:
 MONTANA FISH, WILDLIFE & PARKS
 4600 Giant Spring RD
 Great Falls, MT 59405
 Kevin Harrington
 e. Kevin.Harrington@mt.gov
 t. 406.841.4003

ARCHITECT:
 BSPARK ARCHITECTURE
 410 Central Ave, Suite 506
 Great Falls, MT 59401
 Keith Ballantyne
 e. keith@bsparkarch.com
 t. 406.453.0001

CIVIL ENGINEER:
 TD&H Engineering
 1800 River Drive North
 Great Falls, MT 59401
 Contact: Rodney Blake
 t. 406.761.3010
 e. rodney.blake@tdhengineering.com

STRUCTURAL ENGINEER:
 TD&H Engineering
 1800 River Drive North
 Great Falls, MT 59401
 Contact: Rodney Blake
 t. 406.761.3010
 e. rodney.blake@tdhengineering.com

GEOTECH ENGINEER:
 TD&H Engineering
 1800 River Drive North
 Great Falls, MT 59401
 Contact: Rodney Blake
 t. 406.761.3010
 e. rodney.blake@tdhengineering.com

ELECTRICAL ENGINEER:
 EVERSON CORDEIRO ENGINEERING
 #12 6th St S,
 Great Falls, MT 59401
 Contact: Chris Cordeiro
 t. 40.761.4057
 e. chris@eversoncordeiroeng.com

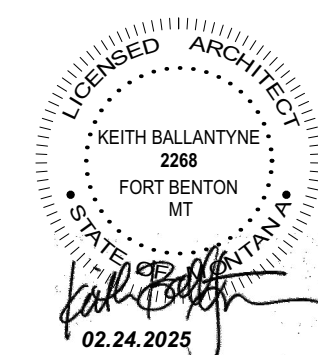


COPYRIGHT © 2025 BSPARK ARCHITECTURE

REGION 4 HEADQUARTERS GARAGE ADDITION

4600 GIANT SPRING RD, GREAT FALLS, MT, 59405

PROJECT NUMBER: 24048



PHASE: Building Permit Set
 SHEET ISSUE DATE: 02.24.2025
 DRAWN BY: AM & IB APPROVED BY: KB
 SHEET TITLE: Cover Sheet
 SHEET NUMBER: G.000

G.000



2 Vicinity Map
NOT TO SCALE

CODE ANALYSIS

MEANS OF EGRESS

MEANS OF EGRESS HAZARD CATEGORIES (IEBC TABLE 1011.5)

EXISTING RELATIVE HAZARD: 5
PROPOSED RELATIVE HAZARD: 5

OCC. LOAD FACTOR:

	AREA SQ.FT.	OCC FACTOR	OCC
PARKING GARAGES	S-2 1550.00	200.00	8.00
PARKING GARAGES	S-2 1556.00	200.00	8.00
PARKING GARAGES	S-2 1276.00	200.00	7.00
			23.00

MEANS OF EGRESS

TABLE 1006.2.1 SPACES WITH ONE EXIT IR EXIT ACCESS DOORWAY.

OCCUPANCY

MAX OCC : 29

PROPOSED OCC: 23

MAX COMMON PATH OF EGRESS TRAVEL DISTANCE: 100'

REQUIRED EGRESS WIDTH (PER IBC 1005.3.2) 23 OCC X 0.2"/OCC= 4.6" MIN

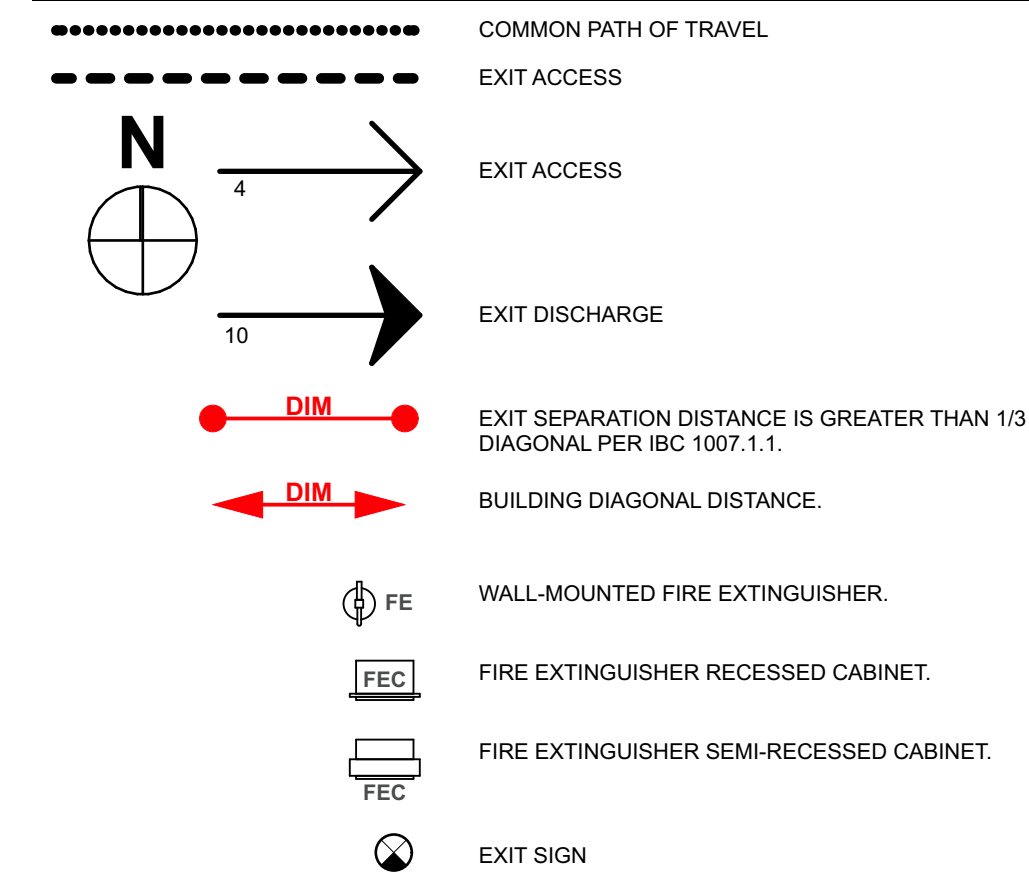
PROVIDED EGRESS WIDTH (PER IBC 1005.3)
DOOR 101 A =35" CLEAR WIDTH
DOOR 106 A =35" CLEAR WIDTH

TABLE 1017.2 | 200' MAX EXIT ACCESS TRAVEL DISTANCE

1 79'-0" TRAVEL DISTANCE < 100'

2 79'-9" TRAVEL DISTANCE < 100'

CODE PLAN LEGEND



APPLICABLE CODES AND STANDARDS

2021 INTERNATIONAL BUILDING CODE - IBC
2021 INTERNATIONAL RESIDENTIAL CODE - IRC
2021 INTERNATIONAL MECHANICAL CODE - IMC
2021 INTERNATIONAL FUEL GAS CODE - IFGC
2021 INTERNATIONAL EXISTING BUILDING CODE - IIBC
2021 UNIFORM PLUMBING CODE - UPC
2020 NATIONAL ELECTRICAL CODE - NEC (NFPA 70)
2021 INTERNATIONAL ENERGY CONSERVATION CODE - IECC
2021 INTERNATIONAL FIRE CODE - IFC
2017 ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES ADMINISTRATIVE RULES OF MONTANA

GOVERNING AUTHORITY

CASCADE COUNTY

OCCUPANCY CLASSIFICATION & BUILDING LIMITATIONS

OCCUPANCY GROUP: (E) S-2 (LOW-HAZARD STORAGE)
NO CHANGE PROPOSED

CONSTRUCTION TYPE: V B NS

FIRE SPRINKLERS: NONE EXISTING - NONE REQUIRED

ALLOWABLE AREA: S-2 (LOW-HAZARD STORAGE) 13,500 SF ALLOWABLE AREA (TABLE 506.2)

PROPOSED BLDG AREA: Existing 3,321
New 1,361
4,682 SF

ALLOWABLE BLDG HEIGHT: 40' (TABLE 504.3)
2 STORIES (TABLE 504.3)

PROPOSED BLDG HEIGHT: (E) ± 19'-10"
(E) 1 LEVEL

CLASSIFICATION OF WORK (IEBC CHAPTER 6)
ADDITION

FIRE SEPARATION: NO SEPARATION REQUIRED I

FIRE PROTECTION AND LIFE SAFETY SYSTEMS

AUTOMATIC SPRINKLER SYSTEMS

903.2.9 GROUP S-2:
AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS CLASSIFIED AS PARKING GARAGES WHERE ANY OF THE FOLLOWING CONDITIONS EXISTS:

WHERE THE FIRE AREA OF THE ENCLOSED PARKING GARAGE IN ACCORDANCE WITH SECTION 406.6 EXCEEDS 12,000 SQUARE FEET - NA

WHERE THE ENCLOSED PARKING GARAGE IN ACCORDANCE WITH SECTION 406.6 IS LOCATED BENEATH OTHER GROUPS - NA

WHERE THERE AREA OF THE OPEN PARKING GARAGE IN ACCORDANCE WITH SECTION 406.5 EXCEEDS 48,000 SQUARE FEET - NA

NONE OF THE ITEMS LISTED ABOVE TRIGGERS THE REQUIREMENT FOR THE INSTALLATION OF AN AUTOMATIC FIRE SPRINKLER SYSTEM.

FIRE-RESISTIVE REQUIREMENTS (TABLE 601 & 705.5)

STRUCTURAL FRAME: NO REQUIREMENTS.

BEARING WALLS | EXTERIOR: 1 HOUR LESS THAN 5 FEET.
1 HOUR GREATER THAN 5 FEET BUT LESS THAN 10 FEET.
0 HOUR GREATER THAN OR EQUAL TO 10 FEET.

BEARING WALLS | INTERIOR: NO REQUIREMENTS.

NONBEARING WALLS | EXTERIOR: 1 HOUR LESS THAN 5 FEET.
1 HOUR GREATER THAN 5 FEET BUT LESS THAN 10 FEET.
0 HOUR GREATER THAN OR EQUAL TO 10 FEET.

NONBEARING WALLS | INTERIOR: NO REQUIREMENTS.

FLOOR CONSTRUCTION: NO REQUIREMENTS.

ROOF CONSTRUCTION: NO REQUIREMENTS.

CORRIDOR WALLS: 1 HOUR PER TABLE 1020.1.

PROJECT ADDRESS

4600 GIANT SPRING RD.
GREAT FALLS, MT 59405

LEGAL DESCRIPTION

S33, T21 N, R04 E, 3286, PARCEL N/A, IN S/2N/2 & N/2S/2
MK S HERITAGE STATE PARK

SCOPE OF WORK

THE PROJECT INVOLVES THE ADDITION OF TWO NEW GARAGE BAYS TO THE EAST SIDE OF THE EXISTING GARAGE BUILDING. THIS ADDITION WILL CONNECT DIRECTLY TO AN EXISTING DOOR.

IN ADDITION TO THE GARAGE EXPANSION, IMPROVEMENTS TO THE EXISTING BUILDING ARE INCLUDED. EXTERIOR FACADE UPGRADE: THE CURRENT EIFS WILL BE REPLACED WITH A BOARD-AND-BATTEN METAL SIDING, AND EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES WILL BE REPLACED WITH UPDATED, ENERGY-EFFICIENT MODELS.

THE EXTERIOR SITE WORK WILL INCLUDE GRADING THE TERRAIN SURROUNDING THE NEW ADDITION AND THE ADDITION OF 4 BOLLARDS.

ENERGY CODE ANALYSIS

CLIMATE ZONE: 6B

GARAGE | UNCONDITIONED SPACE

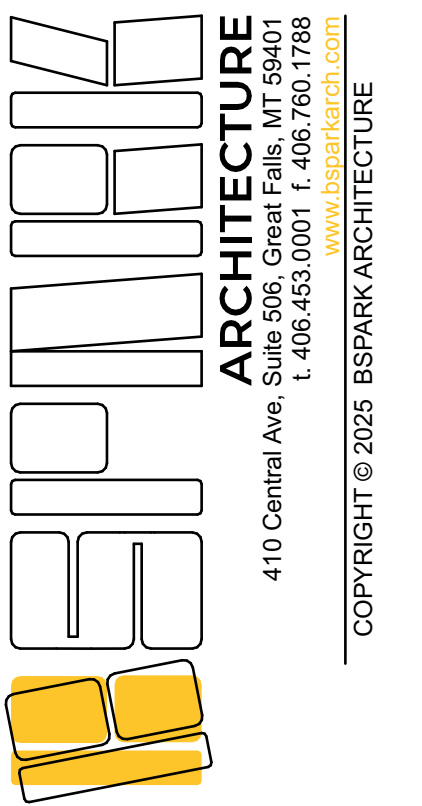
C402.1.1 LOW-ENERGY BUILDINGS AND GREENHOUSES.

THE FOLLOWING LOW-ENERGY BUILDINGS, OR PORTIONS THEREOF SEPARATED FROM THE REMAINDER OF THE BUILDING BY BUILDING THERMAL ENVELOPE ASSEMBLIES COMPLYING WITH THIS SECTION, SHALL BE EXEMPT FROM THE BUILDING THERMAL ENVELOPE PROVISIONS OF SECTION C402.

2. THOSE THAT DO NOT CONTAIN CONDITIONED SPACE.

SHEET INDEX

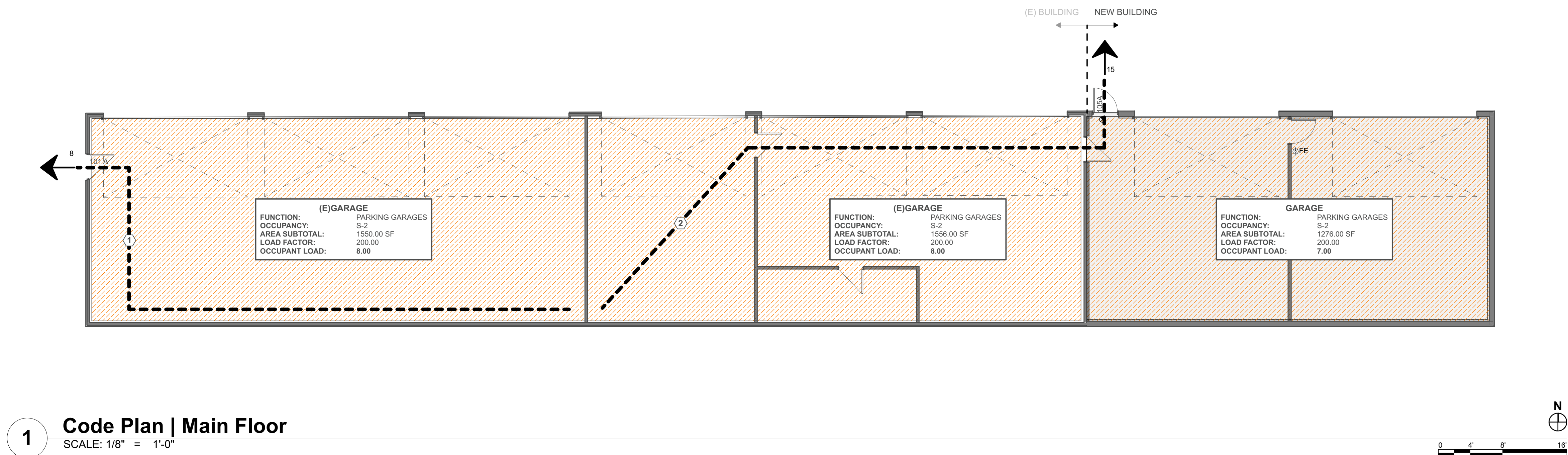
SHEET NAME		BP	2	3	4
General					
G.000	Cover Sheet	X			
G.001	Project Information & Code Analysis	X			
G.002	Architectural Information & General Notes	X			
Civil					
C1.0	Notes, Legends & Abbreviation	X			
C2.0	Existing Conditions & Demolition	X			
C3.0	Layout & Grading	X			
C4.0	Details	X			
Demolition Plans					
AD.101	Demolition Plan Main Level & Exterior Elevations	X			
Site Plan					
AS.101	Site Plan	X			
Plans					
A101	Floor Plan & Foundation Plan	X			
A102	Roof Plan & RCP Plan	X			
Elevations					
A201	Exterior Elevation	X			
Building Sections					
A301	Building Sections	X			
Exterior Details					
A.501	Exterior Details	X			
Schedules					
A301	Door & Hardware Schedules & Details	X			
Structural					
S1.0	General Structural Notes	X			
S1.1	General Structural Notes	X			
S1.2	General Structural Notes	X			
S1.3	Typical Details	X			
S1.4	Typical Details	X			
S1.5	Typical Details	X			
S1.6	Typical Details	X			
S1.7	Wood Fastening Schedule	X			
S2.0	Foundation & Roof Plans	X			
S3.0	Building Sections	X			
S4.0	Foundation Details	X			
S5.0	Framing Details	X			
Electrical					
E.100	Electrical Basic Requirements & Legend	X			
E.101	Electrical Demo Plan & Revised Electrical Plan	X			



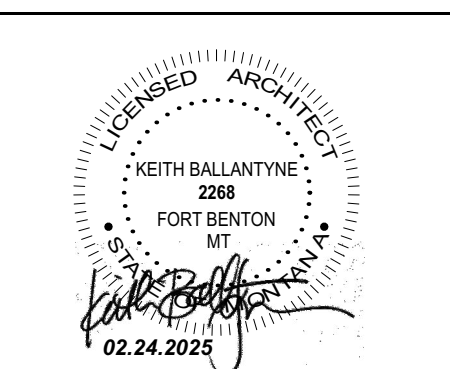
REGION 4 HEADQUARTERS GARAGE ADDITION

ADDRESS: 4600 GIANT SPRING RD, GREAT FALLS, MT, 59405
PROJECT NUMBER: 24048

COPYRIGHT © 2025 BS PARK ARCHITECTURE



1 Code Plan | Main Floor
SCALE: 1/8" = 1'-0"



REVISIONS:	DATE	ISSUANCE
	1/31/25	BUILDING PERMIT SET

PHASE: Building Permit Set
SHEET ISSUE DATE: 02.24.2025
DRAWN BY: AM & IB APPROVED BY: KB
SHEET TITLE: Project Information & Code Analysis

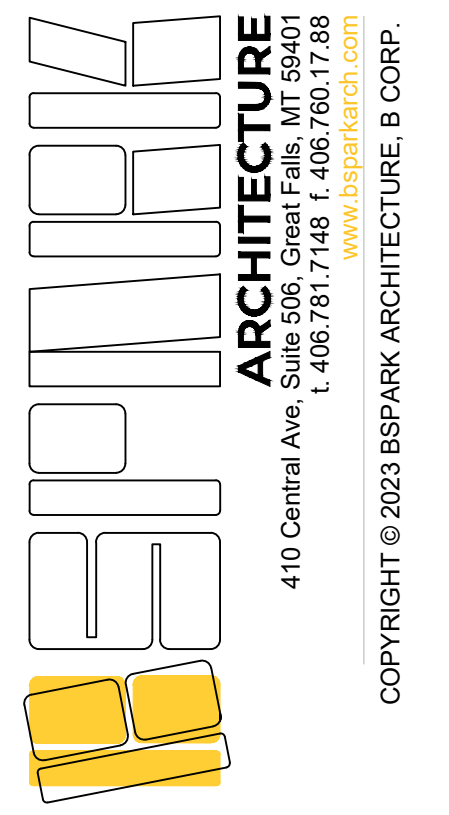
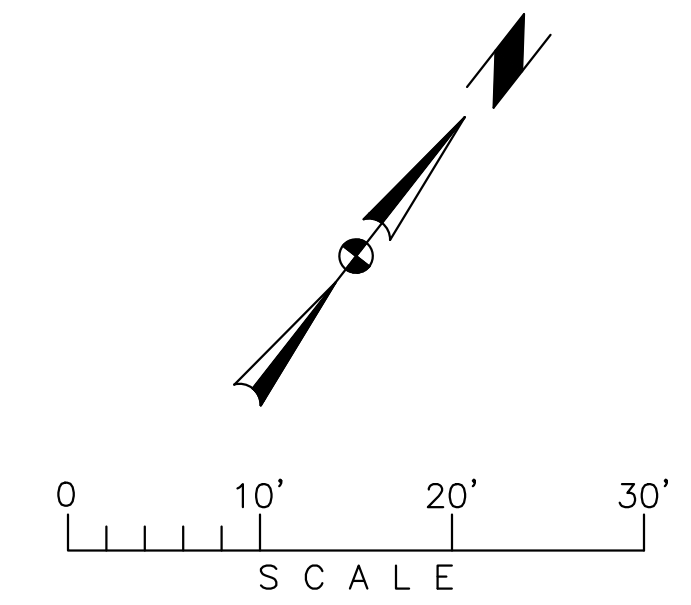
SHEET NUMBER: **G.001**

SURVEY CONTROL POINTS

POINT NAME	NORTHING	EASTING	ELEVATION	REMARKS
1	1201470.4035	1542317.7657	3319.725	RPC 5/8" RBR
2	1201668.6289	1542326.5571	3314.540	RPC 5/8" RBR
3	1201573.2124	1542451.1928	3312.882	5/8" RBR RPC
4	1201665.7948	1542498.4212	3313.833	SMALL NAIL IN ASPHALT
210	1199357.8238	1550131.3168	3411.969	5/8" RBR RPC
503	1200960.3380	1550155.3403	3432.269	CP

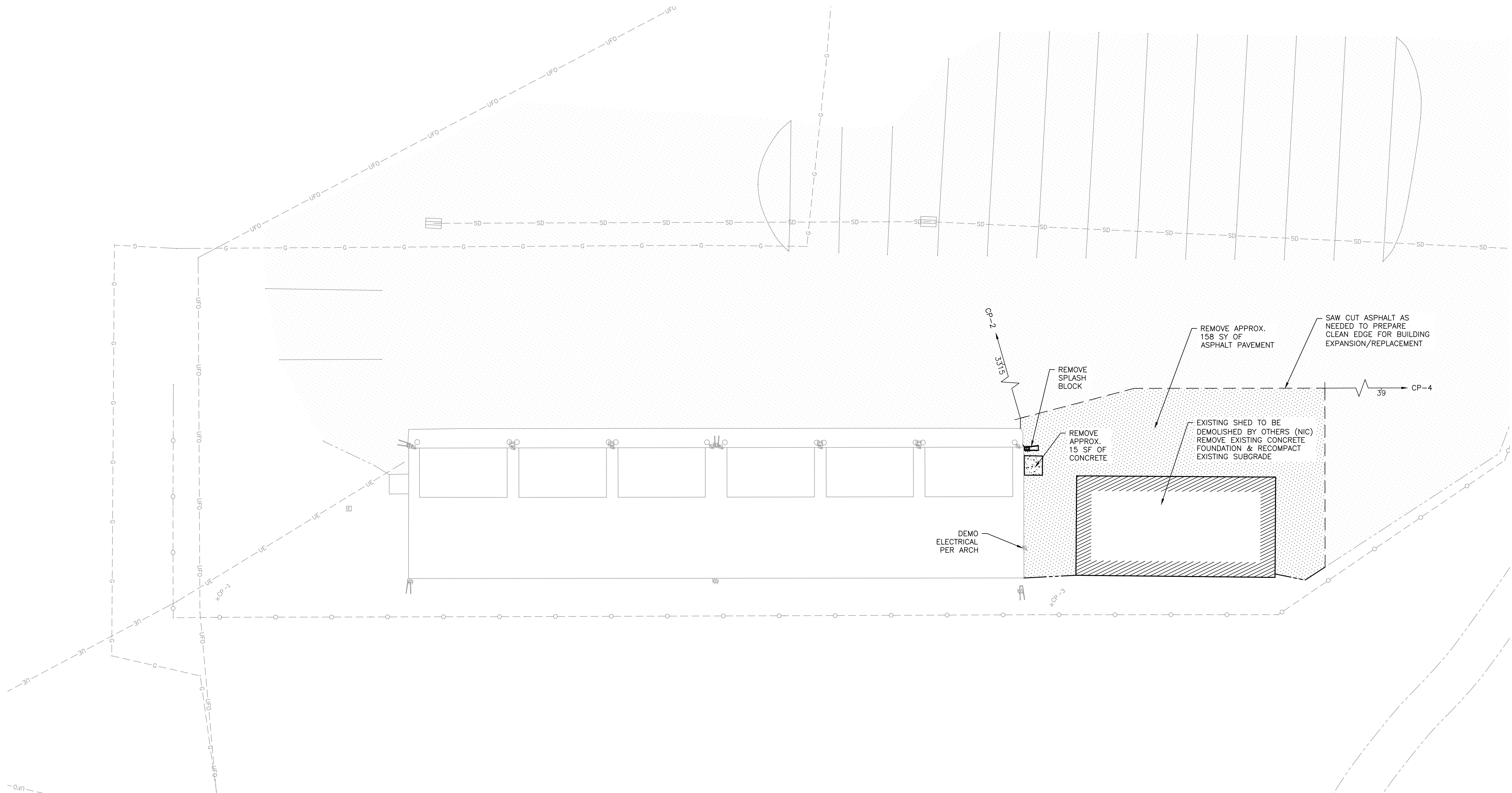
HORIZONTAL COORDINATES ARE GROUND, INTERNATIONAL FEET, AND WERE PROJECTED WITH SURVEY QUALITY GPS FROM THE TD&H CONTROL POINT #503. TO CONVERT TO MONTANA STATE PLANE COORDINATES, ZONE 2500, MULTIPLY TIMES THE COMBINED SCALE FACTOR OF 0.9992716354, ABOUT AN ORIGIN OF (0,0).

VERTICAL DATUM IS NAVD88 (GEOID18), U.S. SURVEY FEET, AND WAS PROJECTED WITH SURVEY QUALITY GPS FROM THE TD&H CONTROL POINT #503.



FWP DISTRICT 4 GARAGE

ADDRESS
4500 GIANT SPRINGS RD
GREAT FALLS, MT
PROJECT NUMBER



BUILDING PERMIT SET



REVISIONS	DATE	ISSUANCE

BUILDING PERMIT SET

01.31.2025 24-134

DRAWN BY: JEM APPROVED BY: RCB

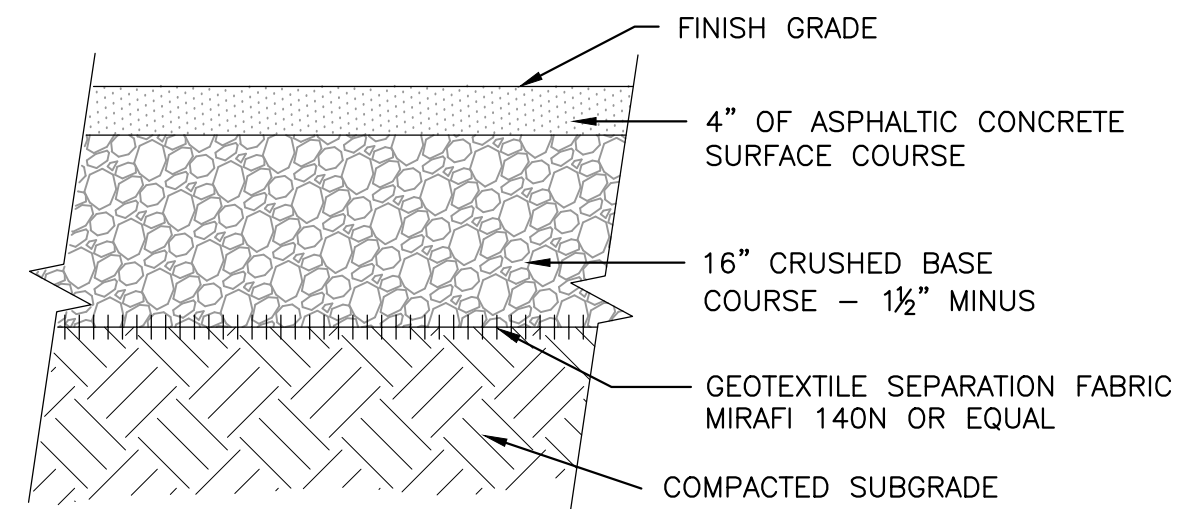
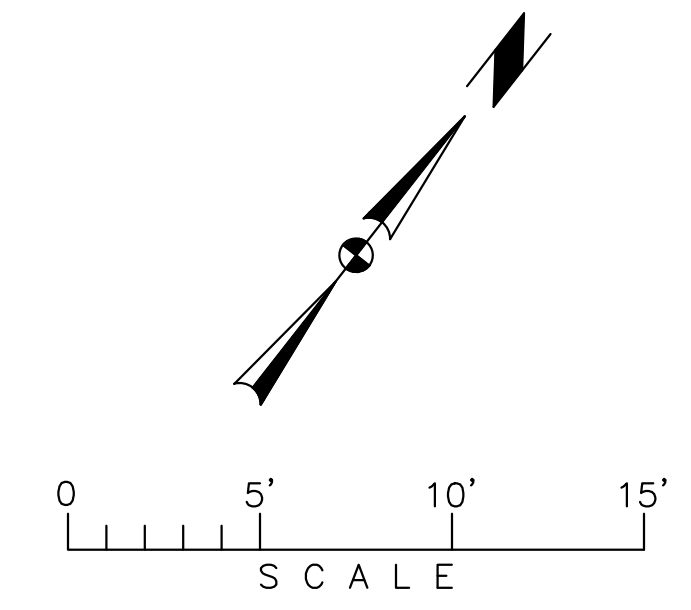
EXISTING CONDITIONS & DEMOLITION PLAN

SHEET NUMBER

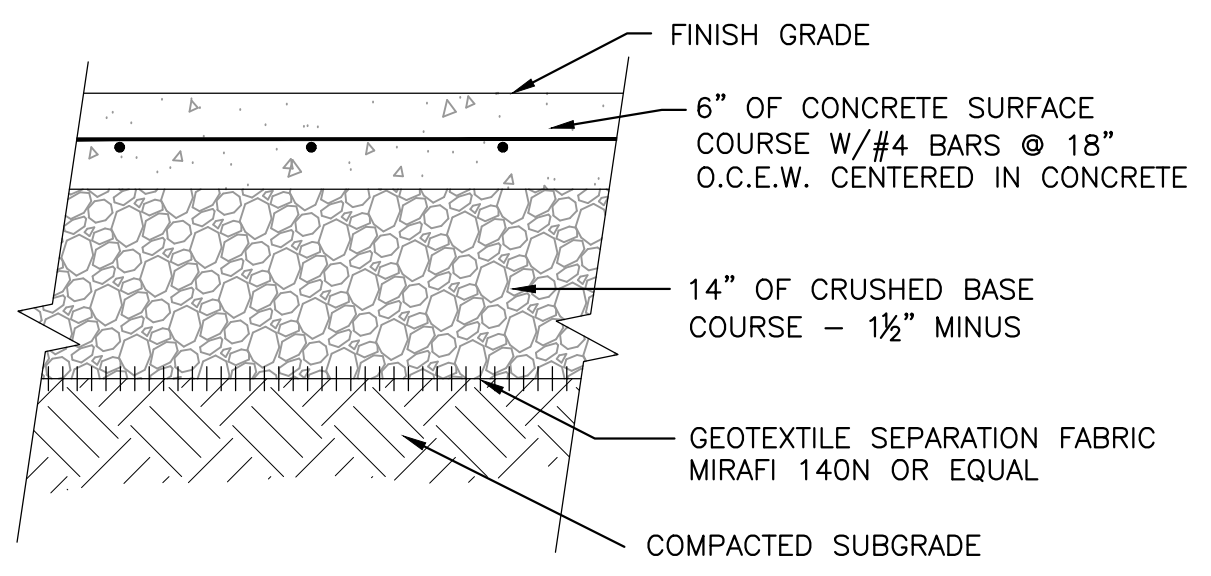
C2.0

FWP DISTRICT 4 GARAGE

4500 GIANT SPRINGS RD
 GREAT FALLS, MT

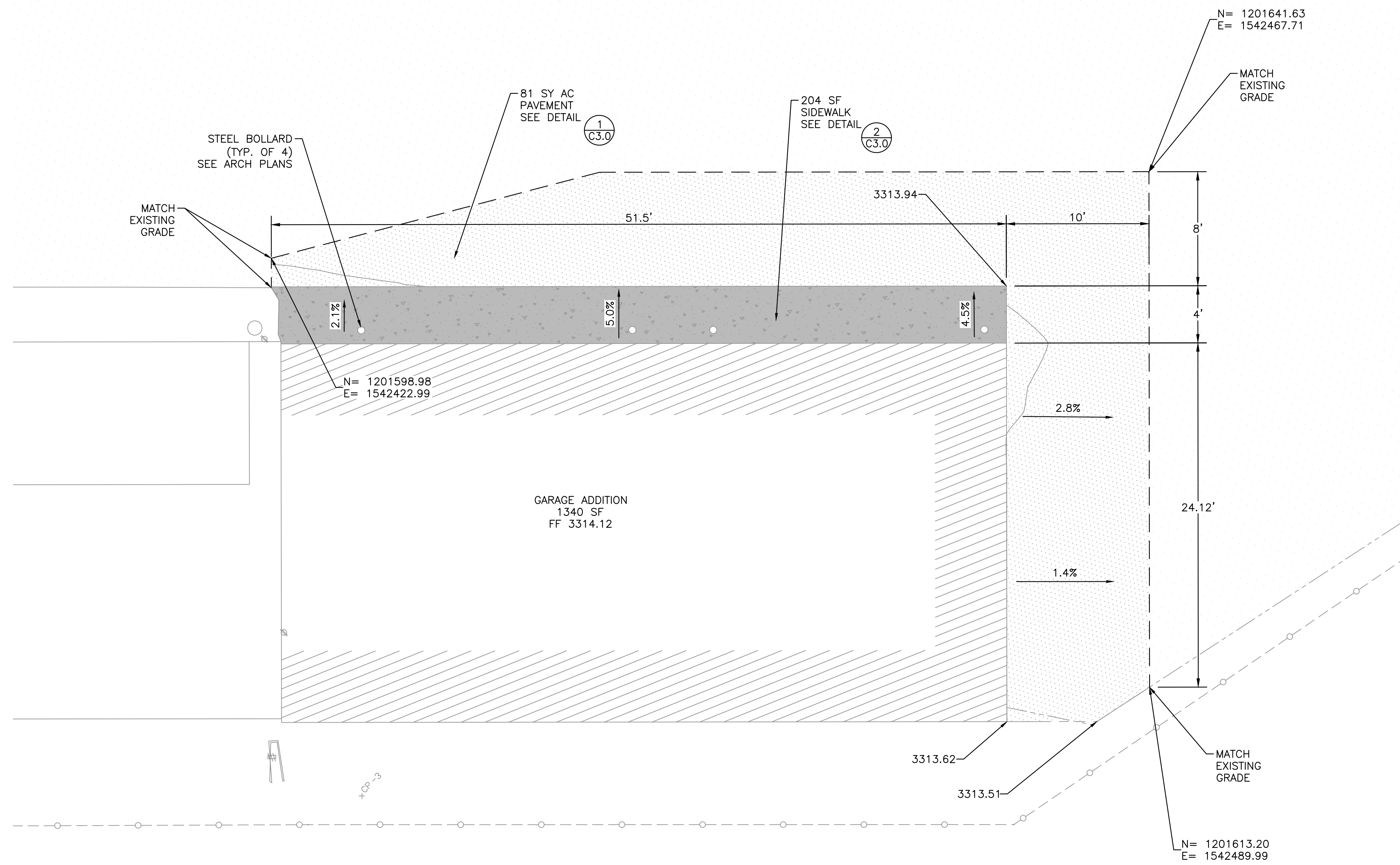


TYPICAL ASPHALT SECTION 1
 C3.0



- NOTES:**
- CONTRACTION JOINTS AT 8' O.C.E.W.
 - EXPANSION JOINTS AT OBSTRUCTIONS AND ADJOINING SIDEWALKS.

TYPICAL 6" CONCRETE PAVEMENT SECTION 2
 C3.0



BUILDING PERMIT SET



REVISIONS	DATE	ISSUANCE

BUILDING PERMIT SET
01.31.2025
 DRAWN BY: JEM APPROVED BY: RCB
 SHEET TITLE:
LAYOUT, GRADING, AND DETAILS

SHEET NUMBER

C3.0

MATERIAL TYPE LEGEND

# & @	POUND OR NUMBER	MRGWB	MOISTURE-RESISTANT GYPSUM WALL BOARD
AB	ANCHOR BOLT	MTL	METAL
ACI	AMERICAN CONCRETE INSTITUTE	NF	NEAR FACE
ACT	ACOUSTIC CEILING TILE	NIC	NOT IN CONTRACT
AD	AREA DRAIN	NO	NUMBER
AFF	ABOVE FINISH FLOOR	NOM	NOMINAL
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	NTS	NOT TO SCALE
AISI	AMERICAN IRON AND STEEL INSTITUTE	NWC	NORMAL WEIGHT CONCRETE
ALUM	ALUMINUM	OC	ON CENTER
ANOD	ANODIZED	OD	OUTSIDE DIAMETER
ASD	ALTERNATE STRESS DESIGN	OH	OPPOSITE HAND
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	OPNG	OPENING
AWS	AMERICAN WELDING SOCIETY	OZ	OUNCE
BD	BOARD	P	PAINT
BLK	BLOCK	PC	PILE CAP
BM	BEAM	PCC	PRE-CAST CONCRETE
B.O.	BOTTOM OF	PL	PLATE
BOT	BOTTOM	PLAM	PLASTIC LAMINATE
BRG	BEARING	PLUMB	PLUMBING
BRKT	BRACKET	PLY	PLYWOOD
BSMT	BASEMENT	PORC	PORCELAIN
BLDG	BUILDING	PNL	PANEL
BYND	BEYOND	PNT	PAINT OR PAINTED
CAB	CABINET	PSF	POUNDS PER SQUARE FOOT
CER	CERAMIC	PSI	POUNDS PER SQUARE INCH
OP	CAST-IN-PLACE	PT	POINT
CJ	CONTROL JOINT	PR	PAIR
CLG	CEILING	PROP	PROPERTY
CLR	CLEAR	PVC	POLYVINYL CHLORIDE
CMU	CONCRETE MASONRY UNIT	R	RADIUS
COL	COLUMN	RB	RUBBER BASE
COMPR	COMPRESSIBLE	RBT	RUBBER TILE
CONC	CONCRETE	RCP	REFLECTED CEILING PLAN
CONST JT	CONSTRUCTION JOINT	RD	ROOF DRAIN
CONT	CONTINUOUS	REINF	REINFORCED
CRT	CORRET TILE	REF	REFERENCE
CRSI	CONCRETE REINFORCING STEEL INSTITUTE	REQD	REQUIRED
		RET	RETURN
		RM	ROOM
		R.O.	ROUGH OPENING
		ROW	RIGHT OF WAY
DBL	DOUBLE	SC	SOLID CORE
DEMO	DEMOLISH OR DEMOLITION	SECT	SECTION
DET	DETAIL	SHT	SHEET
DIA	DIAMETER	SIM	SIMILAR
DIM	DIMENSION	SL	SPLICE LENGTH
DIR	DIRECTION	SLC	SEALED CONCRETE
DN	DOWN	SLV	SHORT LEG VERTICAL
DR	DOOR	SOG	SLAB ON GRADE
DWG	DRAWING	SPEC	SPECIFIED OR SPECIFICATION
EA	EACH	SPK	SPRINKLER OR SPEAKER
EE	EACH END	SO	SQUARE
EF	EACH FACE	SSTL	STAINLESS STEEL
EJ	EXPANSION JOINT	STC	SOUND TRANSMISSION CLASS
EL	ELEVATION	STD	STANDARD
ELEC	ELECTRICAL	STIFF	STIFFENER
ELEV	ELEVATOR OR ELEVATION	STL	STEEL
EPDM	ETHYLENE PROPYLENE DIENE MCLASS (ROOFING)	STR	STAIR
EQ	EQUAL	STRUCT	STRUCTURE OR STRUCTURAL
ES	EACH SIDE	SUP	SUPPORT
EXIST.	EXISTING	SYM	SYMMETRICAL
EXP BLT	EXPANSION BOLT	T&B	TOP AND BOTTOM
EXP JT	EXPANSION JOINT	T&G	TONGUE AND GROOVE
EXT	EXTERIOR	TBD	TO BE DETERMINED
FD	FLOOR DRAIN OR FIRE DEPARTMENT	T/D	TELEPHONE/DATA
FEC	FIRE EXTINGUISHER CABINET	TEL	TELEPHONE
FIN	FINISH	TEMP	TEMPERATURE
FIXT	FIXTURE	THK	THICK OR THICKNESS
FLR	FLOOR	TLT	TOILET
FM	FILLED METAL	T.O.	TOP OF
FND	FOUNDATION	T.O.C	TOP OF CONCRETE
F.O.	FACE OF	T.O.F	TOP OF FRAMING
FT	FOOT OR FEET	T.O.S	TOP OF STEEL/STUD
FTG	FOOTING	T.O.W	TOP OF WALL
		TPD	TOILET PAPER DISPENSER
		TYP	TYPICAL
GA	GAUGE	UNO	UNDERSIDE
GALV	GALVANIZED	US	UNLESS NOTED OTHERWISE UNDERSIDE
GB	GRADE BEAM	VB	VAPOR BARRIER
GP	GUSSET PLATE	VCT	VINYL COMPOSITE TILE
GR	GRADE	VERT	VERTICAL
GYP	GYPSUM	VF	VERIFY IN FIELD
		VWC	VINYL WALL COVERING
HC	HOLLOW CORE	W/	WITH
HDR	HEADER	WD	WOOD
HEF	HORIZONTAL EACH FACE	WDW	WINDOW
HI	HIGH	WP	WORKING POINT
HIF	HORIZONTAL INSIDE FACE	WRB	WEATHER RESISTANT BARRIER
HIM	HOLLOW METAL	WWF	WELDED WIRE FABRIC
HOF	HORIZONTAL OUTSIDE FACE		
HOR	HORIZONTAL		
HP	HIGH POINT		
HR	HOUR		
HS	HIGH STRENGTH		
HT	HEIGHT		
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING		
ICBO	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS		
ID	INSIDE DIAMETER		
ILO	IN LIEU OF		
N	INCH		
INCL	INCLUDE		
INSUL	INSULATED OR INSULATION		
INT	INTERIOR		
INV	INVERT		
IRGWB	IMPACT RESISTANT GYPSUM WALL BOARD		
JST	JOIST		
JT	JOINT		
K	KIP (1000 POUNDS)		
LLV	LONG LEG VERTICAL		
LP	LOW POINT		
LVL	LEVEL		
LW	LIGHT WEIGHT		
LWC	LIGHT WEIGHT CONCRETE		
MAS	MASONRY		
MAX	MAXIMUM		
MCB	METAL CORNER BEAD		
MECH	MECHANICAL		
MEMBR	MEMBRANE		
MEZZ	MEZZANINE		
MFR	MANUFACTURED		
MIN	MINIMUM		
M.O.	MASONRY OPENING		

SECTION | MATERIAL TYPE LEGEND

	GRAVEL
	EARTHWORK, COMPACTED FILL
	EARTH - GRADE
	BRICK WALL
	CONCRETE MASONRY UNIT
	STONE
	STRUCTURAL CONCRETE
	NON STRUCTURAL CONCRETE
	BATT INSULATION
	RIGID INSULATION
	EIFS
	STRUCTURAL METAL
	NON STRUCTURAL METAL
	PLYWOOD SHEATHING
	WOOD FRAMING, CONTINUOUS
	WOOD BLOCKING OR SHIM
	WOOD FINISH
	PLASTER OR GYPSUM BOARD
	CARPET

ELEVATION | MATERIAL TYPE LEGEND

	BRICK WALL
	CONCRETE MASONRY UNIT
	STONE
	BATT AND BOARD SIDING
	METAL ROOFING
	PLASTER OR GYPSUM BOARD
	WOOD FINISH

SYMBOL TYPE LEGEND

SYMBOL IMAGE	SYMBOL NAME
	GRID LINE
	EXISTING GRID LINE
	EXTERIOR ELEVATION INDICATOR
	BUILDING SECTION INDICATOR
	DETAIL INDICATOR
	INTERIOR ELEVATION INDICATOR
	ROOM NAME
	ELEVATION DATUM
	DOOR IDENTIFIER
	WALL / PARTITION TYPE
	WINDOW IDENTIFIER
	NORTH INDICATOR
	ENTRY
	KEYNOTE INDICATOR

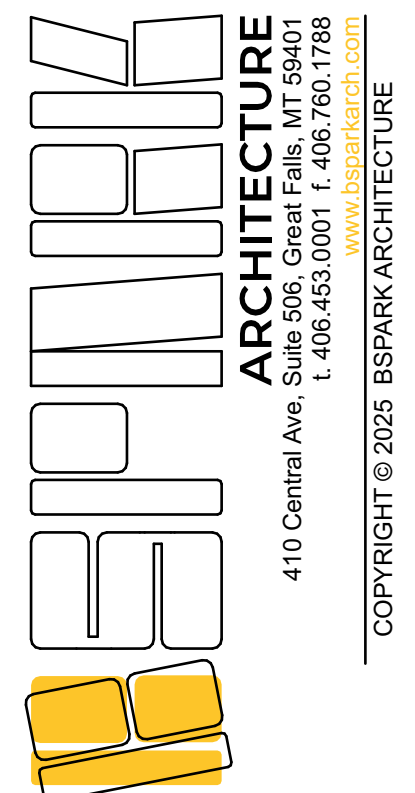
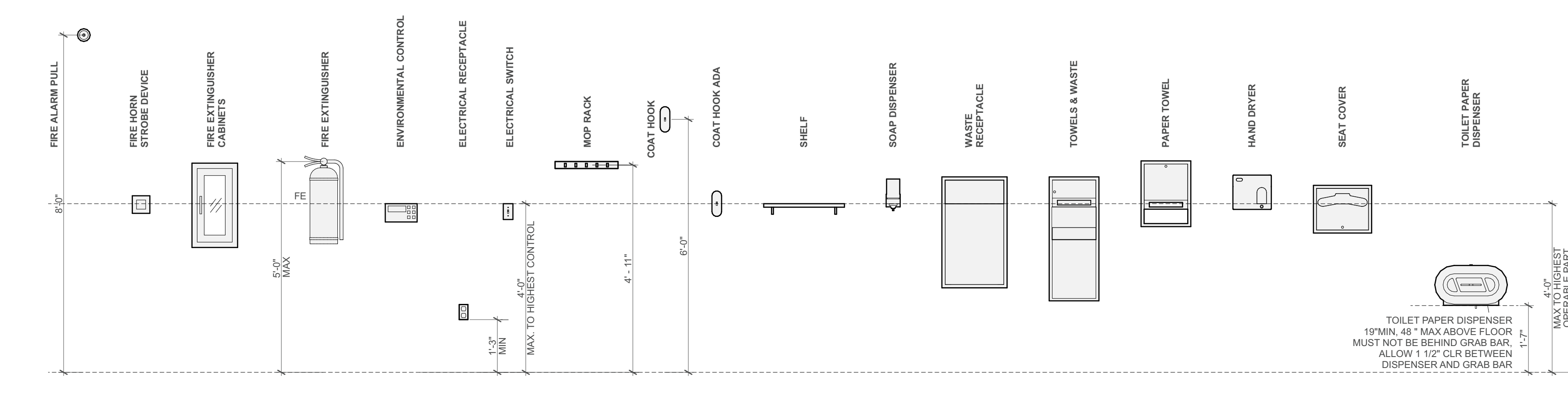
GENERAL NOTES

- ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE 2021 IBC AND ALL FEDERAL, STATE, AND LOCAL CODES AND AGENCIES HAVING JURISDICTION. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND RESPECTIVE SUB-CONTRACTORS TO BUILD TO SATISFY THESE CODES AND CALL FOR ALL NECESSARY INSPECTIONS.
- THE CONTRACTOR SHALL CAREFULLY STUDY THE CONTRACT DOCUMENTS PRIOR TO CONSTRUCTION AND SHALL REPORT TO THE ARCHITECT WITHOUT DELAY ANY ERRORS INCONSISTENCIES OR OMISSIONS HE/SHE MAY DISCOVER AND SHALL NOT PROCEED WITH THE WORK UNTIL THE INTENT OF THE DOCUMENTS IS CONFIRMED BY THE ARCHITECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN ALL TRADES. WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS BY VARIOUS TRADES, THE CONTRACTOR SHALL CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES, AND SUPPORTING BRACKETS REQUIRED FOR THE BEST POSSIBLE INSTALLATION OF ALL TOILET ROOM ACCESSORIES AND ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL, OR MISCELLANEOUS EQUIPMENT.
- ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURERS WRITTEN INSTRUCTIONS UNLESS HEREINAFTER SPECIFIED TO THE CONTRARY.
- THE PLANS SHOW CONDITIONS AS THEY ARE SUPPOSED OR BELIEVED TO EXIST, BUT IT IS NOT INTENDED OR IMPLIED THAT THE CONDITIONS AS SHOWN CONSTITUTE A REPRESENTATION OR WARRANTY EXPRESSED OR IMPLIED, THAT SUCH CONDITIONS ACTUALLY EXIST.
- THE DOCUMENTS ARE BASED UPON PHOTOGRAPHS AND SOME EXISTING DRAWINGS. THERE ARE AREAS OF THE BUILDING WHICH HAVE NOT BEEN OBSERVED OR FIELD MEASURED FOR TECHNICAL ACCURACY. CONTRACTOR SHALL VERIFY THE ACCURACY OF EXISTING CONDITIONS PRIOR TO SUBMITTING A BID FOR THE WORK, AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THE ACTUAL EXISTING CONDITIONS AND DRAWINGS OF THE EXISTING CONDITIONS.
- THE DOCUMENTS NOTE AREAS FOR WHICH THE EXISTING CONDITIONS ARE UNKNOWN, AND WHERE THE EXISTING CONDITIONS MIGHT ALSO IMPACT THE ARCHITECTURAL DRAWING DESIGN OR DETAILS. THESE AREAS ARE NOTED AS "VERIFY", "VIF" OR "CONTRACTOR TO VERIFY" ON THE DRAWINGS.
- CONTRACTORS AND SUBCONTRACTORS ARE TO VERIFY ALL DIMENSIONS, GRADE ELEVATIONS, UTILITY LOCATIONS, AND RELATED INFORMATION. ALL WORK IS TO BE IN COMPLIANCE WITH THE STATE, CITY, AND FEDERAL REQUIREMENTS AS WELL AS THE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL CONDITIONS, DIMENSIONS, AND MATERIAL IN THE FIELD FOR ACCURACY PRIOR TO CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ISSUES THE CONTRACTOR SHALL SUBMIT THEM IN WRITING TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK. CLARIFY ALL DISCREPANCIES RELATIVE TO CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND FIELD CONDITIONS PRIOR TO SUBMITTING BIDS AND COMMENCING WORK.
- DETAILS NOT SHOWN ARE SIMILAR IN NATURE TO THOSE DETAILED. WHERE CONDITIONS ARE SIMILAR, WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CAN NOT BE DETERMINED, CONSULT ARCHITECT BEFORE PROCEEDING WITH THE WORK. TYPICAL DETAILS OCCUR AT ALL SIMILAR CONDITIONS, WHETHER REFERENCED OR NOT.
- ALL WORK PERFORMED SHALL COMPLY WITH ALL NOTES IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE INTENT OF ALL NOTES IN THE DRAWINGS, SPECIFICATIONS, AND OTHER PROJECT DOCUMENTS, INCLUDING STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER TRADES INDICATED IN CONTRACT DOCUMENTS.
- ITEMS NOT LOCATED BY DIMENSIONS (DOORS, WINDOWS, EQUIPMENT, ETC.) MAY BE MOVED SLIGHTLY TO ACCOMMODATE CONSTRUCTION.
- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN UNLESS OTHERWISE NOTED.
- IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB AND ANY OMISSIONS IN THESE OR IN THE OUTLINE OF WORK SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR FROM THE RESPONSIBILITIES IMPLIED BY THE SCOPE OF WORK EXCEPT AS NOTED.
- PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM THE CONSTRUCTION AREA.
- ALL WORK SHALL BE AT THE MINIMUM THE BEST PRACTICES OF EACH TRADE.

LINE TYPE LEGEND

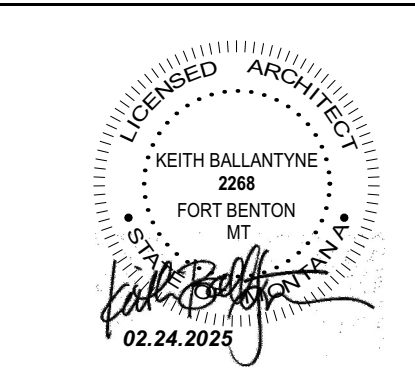
	GRID LINE
	EXISTING TO REMAIN
	DEMOLITION
	FEATURES ABOVE
	CENTER LINE
	PROPERTY LINE
	DASHED
	HIDDEN
	INSULATION
	FENCE LINE
	HOT WATER
	COLD WATER
	REVISION BUBBLE

TYPICAL PUBLIC ACCESSORY MOUNTING



REGION 4 HEADQUARTERS GARAGE ADDITION

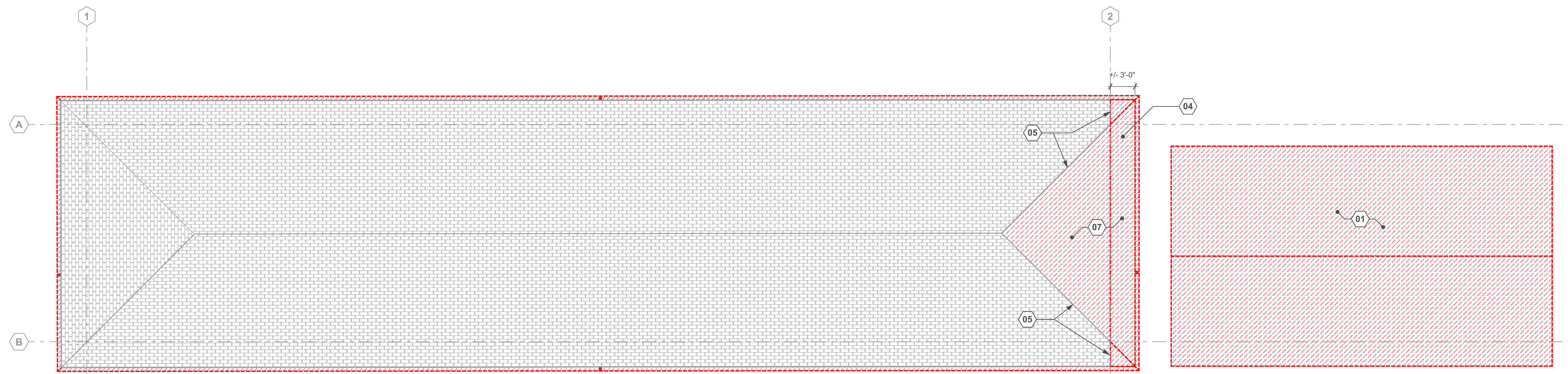
4600 GIANT SPRING RD.
GREAT FALLS, MT, 59405
24048



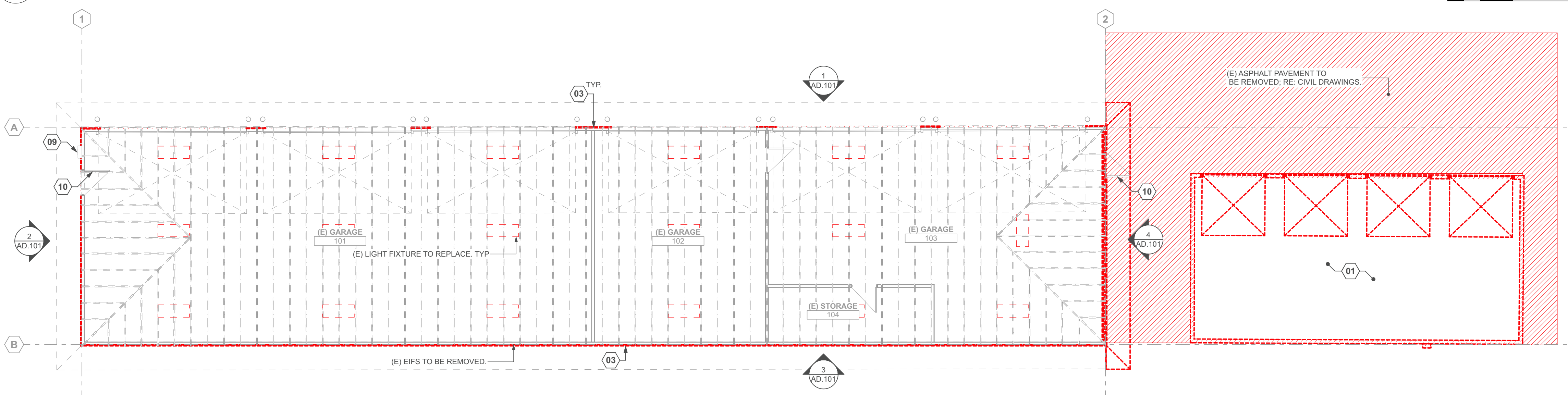
REVISIONS	DATE	ISSUANCE
	1/31/25	BUILDING PERMIT SET

DATE: 02.24.2025
DRAWN BY: AM & IB
APPROVED BY: KB
Architectural Information & General Notes

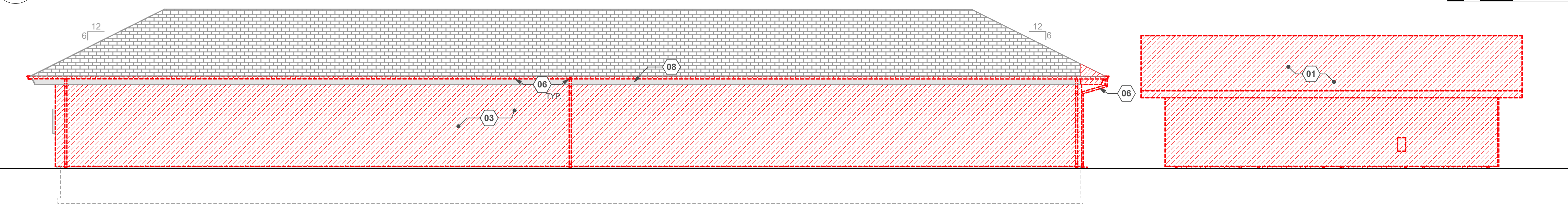
G.002



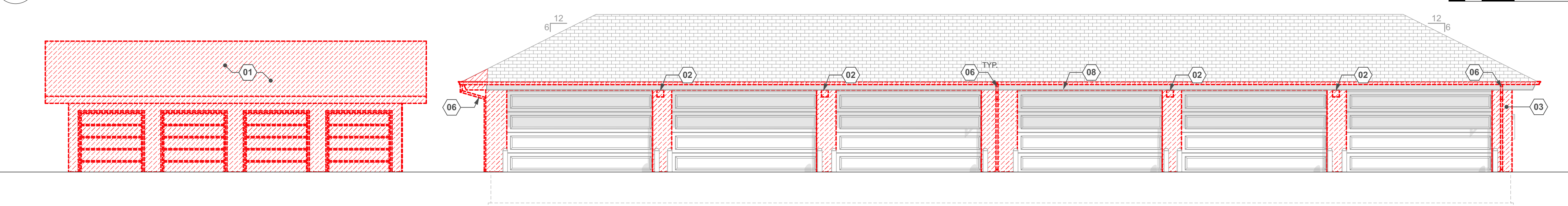
6 Demolition Plan | Roof Plan
SCALE: 1/8" = 1'-0"



5 Demolition Plan | Main Level
SCALE: 1/8" = 1'-0"



3 (E) South Elevation
SCALE: 1/8" = 1'-0"

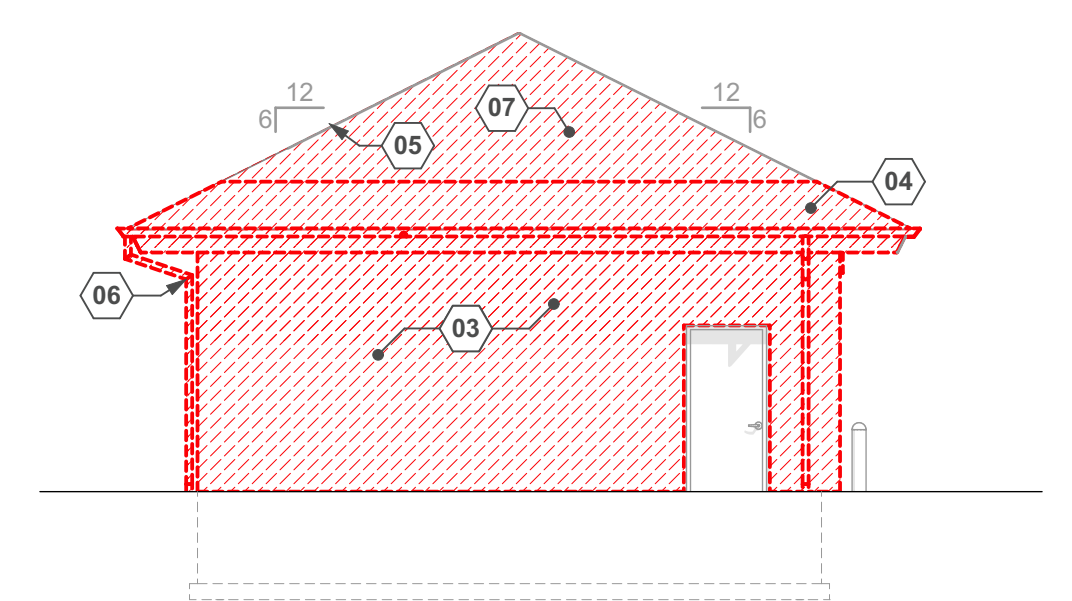


1 (E) North Elevation
SCALE: 1/8" = 1'-0"

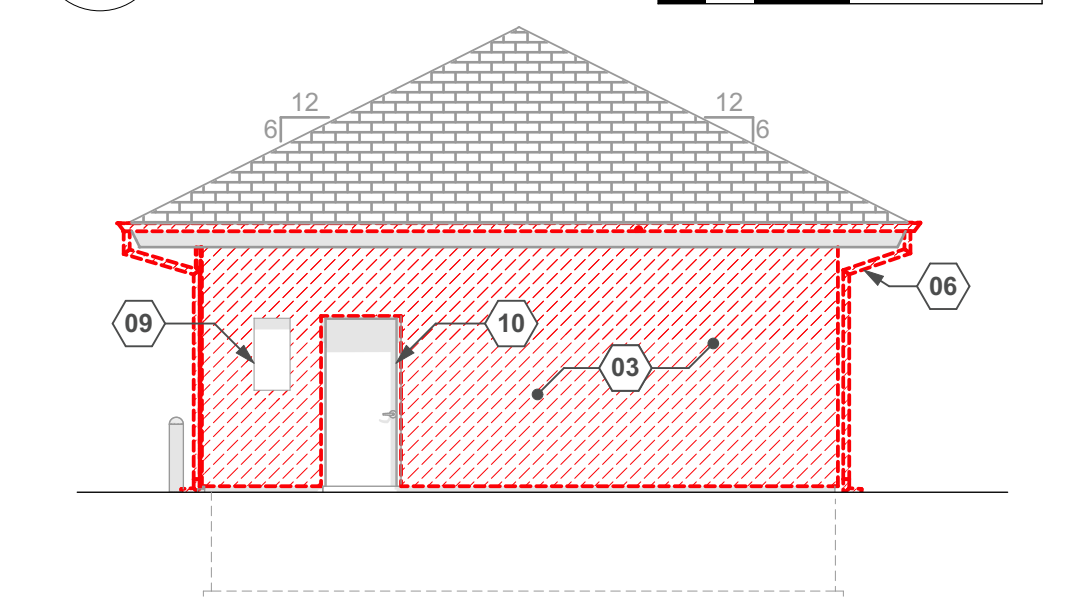
- DEMOLITION NOTES**
1. VERIFY WITH THE OWNER ALL ITEMS TO BE SALVAGED PRIOR TO DEMOLITION.
 2. THE DOCUMENTS ARE BASED ON PHOTOGRAPHS AND SOME EXISTING DRAWINGS. THERE ARE AREAS OF THE BUILDING WHICH HAVE NOT BEEN OBSERVED OR FIELD MEASURED FOR TECHNICAL ACCURACY. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF EXISTING CONDITIONS PRIOR TO SUBMITTING A BID FOR THE WORK, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE ACTUAL EXISTING CONDITIONS AND DRAWINGS OF THE EXISTING CONDITIONS.
 3. IF THE CONTRACTOR BECOMES AWARE OF ANY LOAD BEARING POINTS WITHIN DEMOLITION NOT NOTED ON THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT / ENGINEER PRIOR TO DEMOLITION OCCURRING.
 4. CONTRACTOR TO PROVIDE DUST AND SOUND BARRIERS DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN-UP COST FOR DUST AND DEBRIS WHICH MIGRATE INTO EXISTING, ADJACENT SPACES.
 5. CONDUCT DEMOLITION ACTIVITIES CLEAN, COMPLETE, AND IN A MANNER SUITABLE FOR NEW FINISHES.
 6. PATCH ALL WALL, FLOOR, AND CEILING PENETRATION RESULTING FROM THE REMOVAL OF EXISTING WALLS, DUCTWORK, PIPING, ELECTRICAL RACEWAYS, CEILING, ETC.
 7. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK.

- DEMOLITION PLAN LEGEND**
- EXISTING CONSTRUCTION TO REMAIN
 - EXISTING DOOR TO REMAIN
 - EXISTING CONSTRUCTION TO BE REMOVED OR RELOCATED.
 - EXISTING DOOR TO BE REMOVED OR RELOCATED
 - EXISTING CONSTRUCTION TO BE REMOVED.
 - EXISTING FINISH FLOOR TO BE REMOVED. PREPARE (E) SURFACE FOR NEW FINISHES.

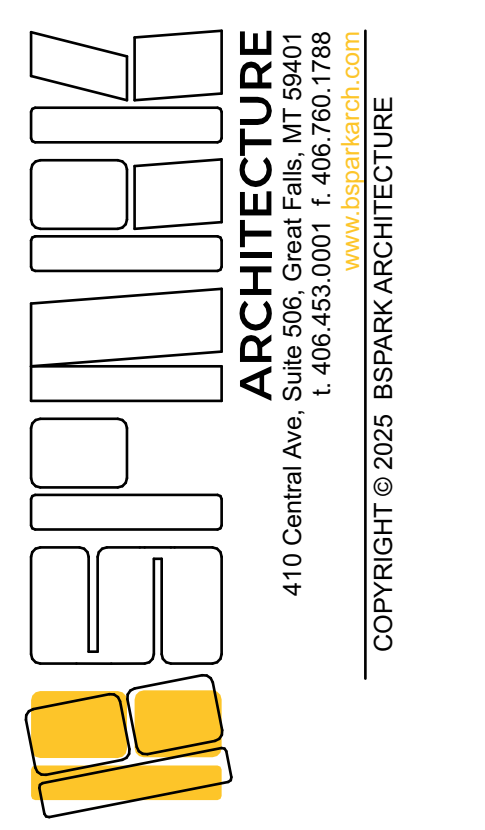
- DEMOLITION EXTERIOR ELEVATIONS KEYNOTES**
- 01 (E) SLAB AND FOUNDATION TO BE DEMOLISHED, COMPLETE. (E) BUILDING TO BE DEMOLISHED BY OWNER.
 - 02 (E) LIGHT FIXTURES TO BE REPLACED.
 - 03 (E) EIFS TO BE REMOVED, PATCH ALL WALLS, AND PREPARE SURFACE FOR NEW SIDING SYSTEM.
 - 04 SECTION OF (E) OVERHANG TO BE DEMOLISHED.
 - 05 REPLACE (E) ASPHALT SHINGLES AS NEEDED TO ACCOMMODATE NEW CONSTRUCTION.
 - 06 (E) GUTTERS AND DOWNSPOUTS TO BE REPLACED.
 - 07 STRIP ALL ROOF MATERIALS TO CLEAN SHEATHING - PREP TO RECEIVE OVER-BUILD TRUSSES PER STRUCTURAL.
 - 08 REMOVE/REPLACE SOFFIT AND FASCIA TO MATCH (E) DETAILS.
 - 09 ELEC. SVC. BOX TO REMAIN.
 - 10 (E) DOOR TO REMAIN-REPAINT.



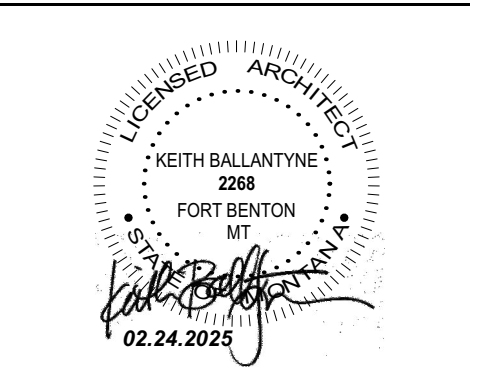
4 (E) East Elevation
SCALE: 1/8" = 1'-0"



2 (E) West Elevation
SCALE: 1/8" = 1'-0"



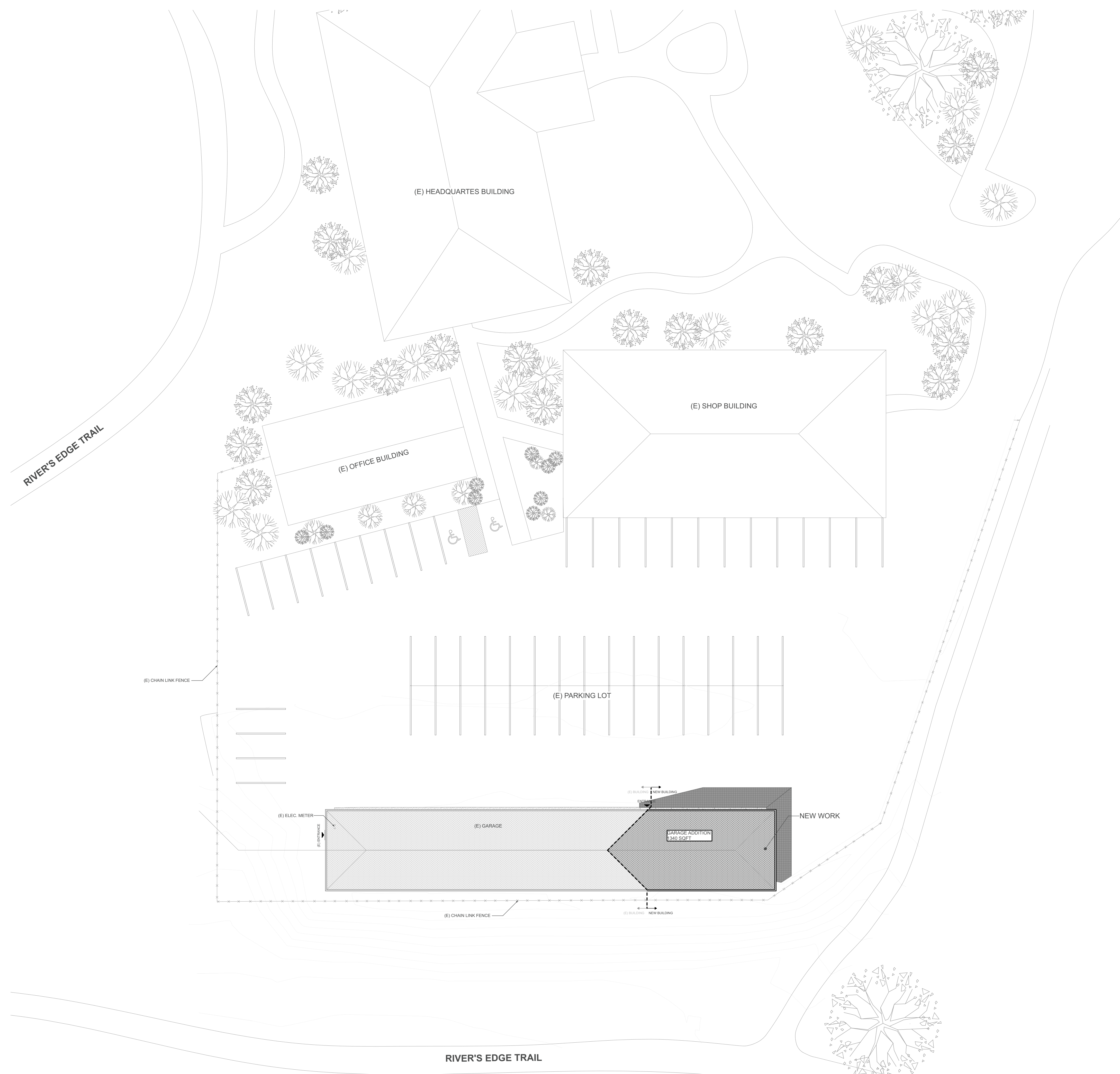
REGION 4 HEADQUARTERS GARAGE ADDITION
ADDRESS: 4600 GIANT SPRING RD., GREAT FALLS, MT, 59405
PROJECT NUMBER: 24048



REVISIONS	DATE	ISSUANCE
	1/31/25	BUILDING PERMIT SET

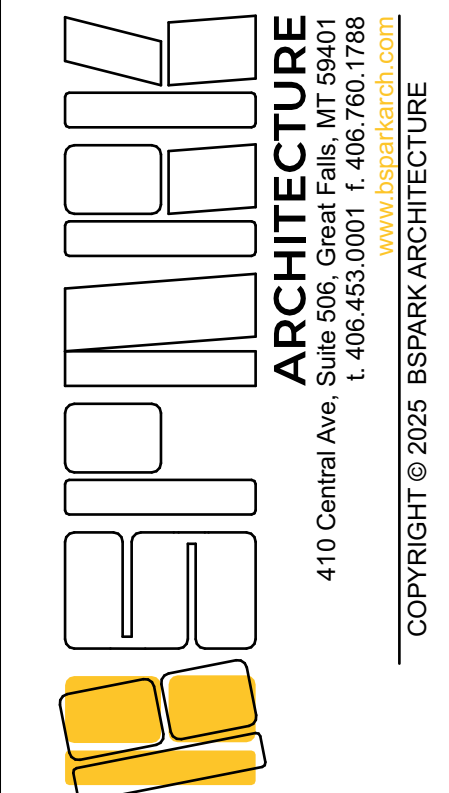
PHASE: Building Permit Set
SHEET ISSUE DATE: 02.24.2025
DRAWN BY: AM & IB APPROVED BY: KB
SHEET TITLE: Demolition Plan | Main Level & Exterior Elevations

SHEET NUMBER: AD.101



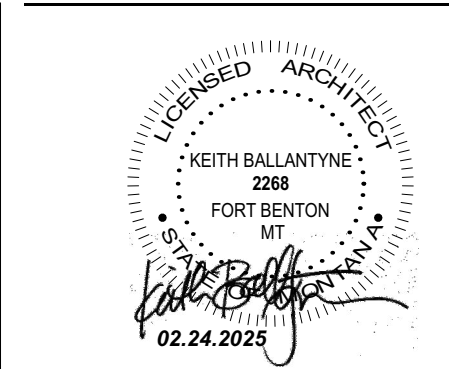
SITE PLAN NOTES

1. ALL SITE WORK SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES AND REGULATIONS.
2. SITE PLAN INDICATES GENERAL DESIGN INTENT OF ARCHITECTURAL SITE WORK.
3. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO BEGINNING ANY SITE WORK. REPORT ANY CONFLICTING UTILITY LOCATIONS TO THE ARCHITECT.
4. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE AND BUILDING CONDITIONS PRIOR TO COMMENCING WITH EXCAVATION WORK.
5. TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND WORKERS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT, OR ADJACENT TO THE PREMISES. CONTRACTORS ARE TO FOLLOW APPROPRIATE OSHA REGULATIONS.
6. CONTRACTOR IS RESPONSIBLE FOR PROTECTING SURROUNDING AREAS AND STRUCTURES DURING EXCAVATION, LANDSCAPING, AND OTHER SITE WORK.
7. REMOVE ALL TRASH AND DEBRIS FROM THE PREMISES AND DISPOSE OF IN ACCORDANCE WITH LOCAL REGULATIONS.
8. GENERAL CONTRACT IS RESPONSIBLE FOR COORDINATING SITE WORK WITH ALL NEW WORK.
9. VERIFY VERTICAL AND HORIZONTAL LOCATIONS OF ALL POTENTIAL CONFLICTING UTILITIES PRIOR TO CONSTRUCTION.



REGION 4 HEADQUARTERS GARAGE ADDITION

ADDRESS:
4600 GIANT SPRING RD,
GREAT FALLS, MT, 59405
PROJECT NUMBER:
24048



REVISIONS	
DATE	ISSUANCE
1/31/25	BUILDING PERMIT SET

PHASE:
Building Permit Set

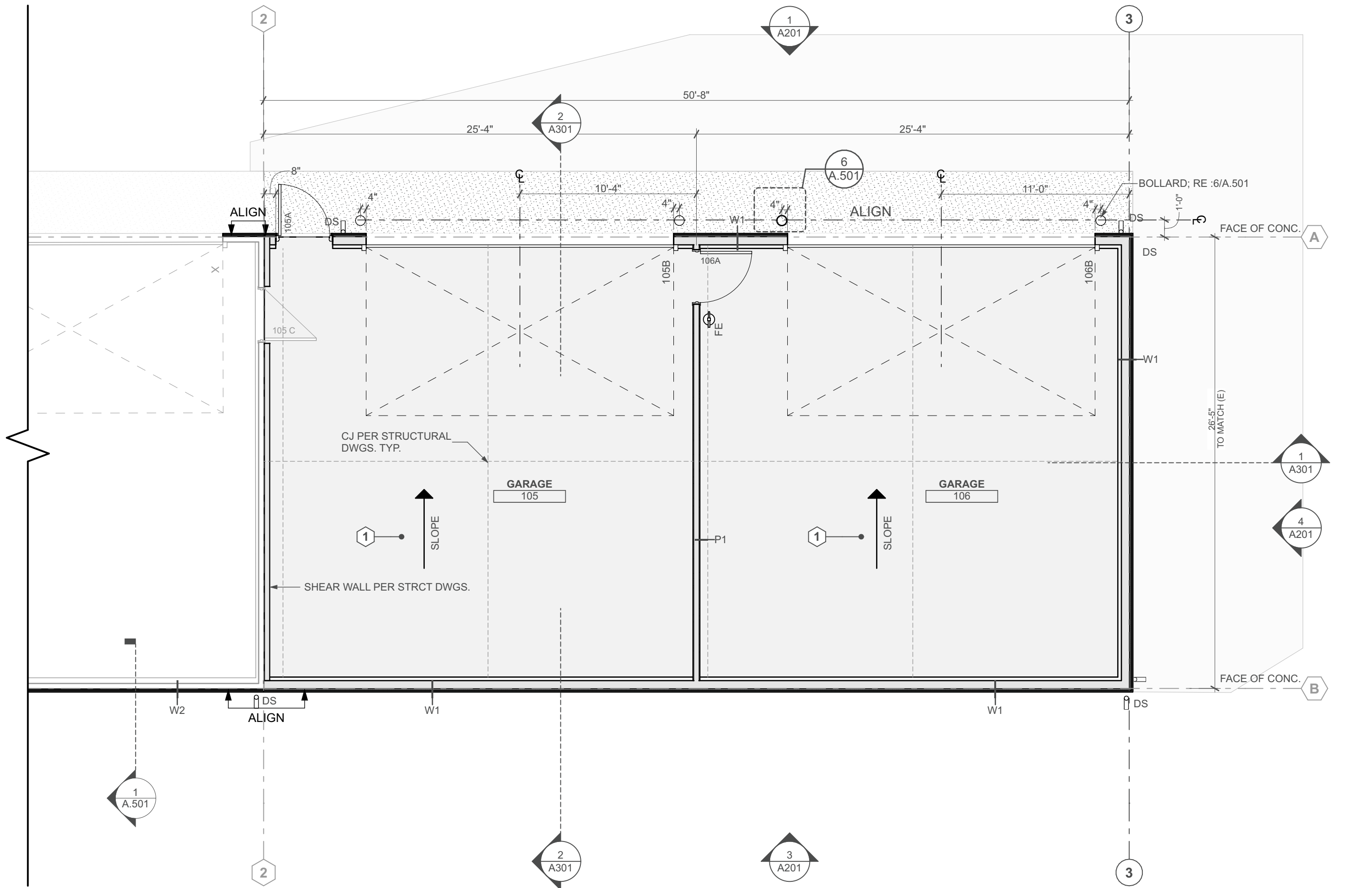
SHEET ISSUE DATE:
02.24.2025

DRAWN BY: AM & IB APPROVED BY: KB

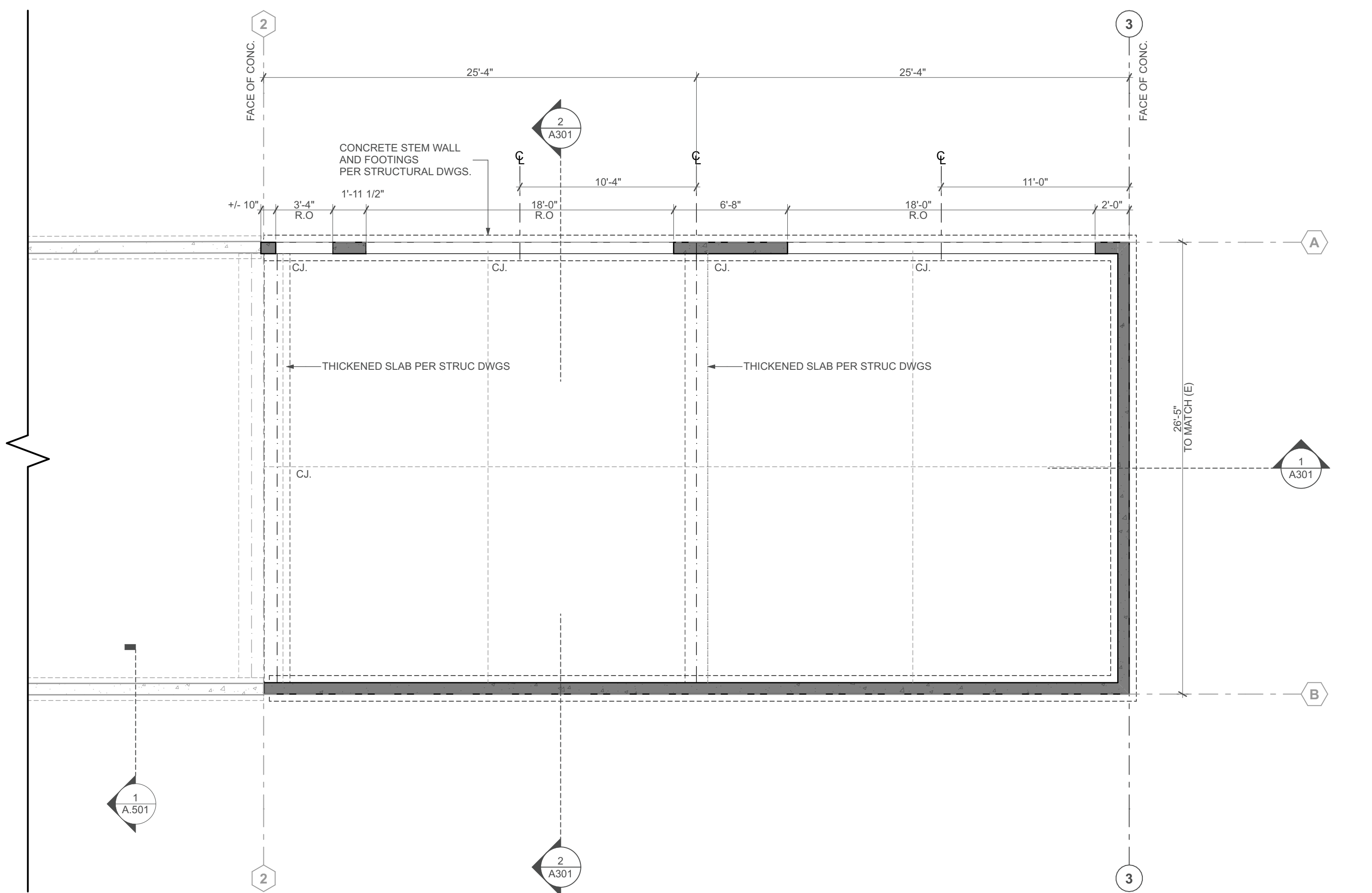
SHEET TITLE:
Site Plan

SHEET NUMBER
AS.101

1 Site Plan
SCALE: 1" = 20'



2 Floor Plan | Main Level
SCALE: 3/16" = 1'-0"

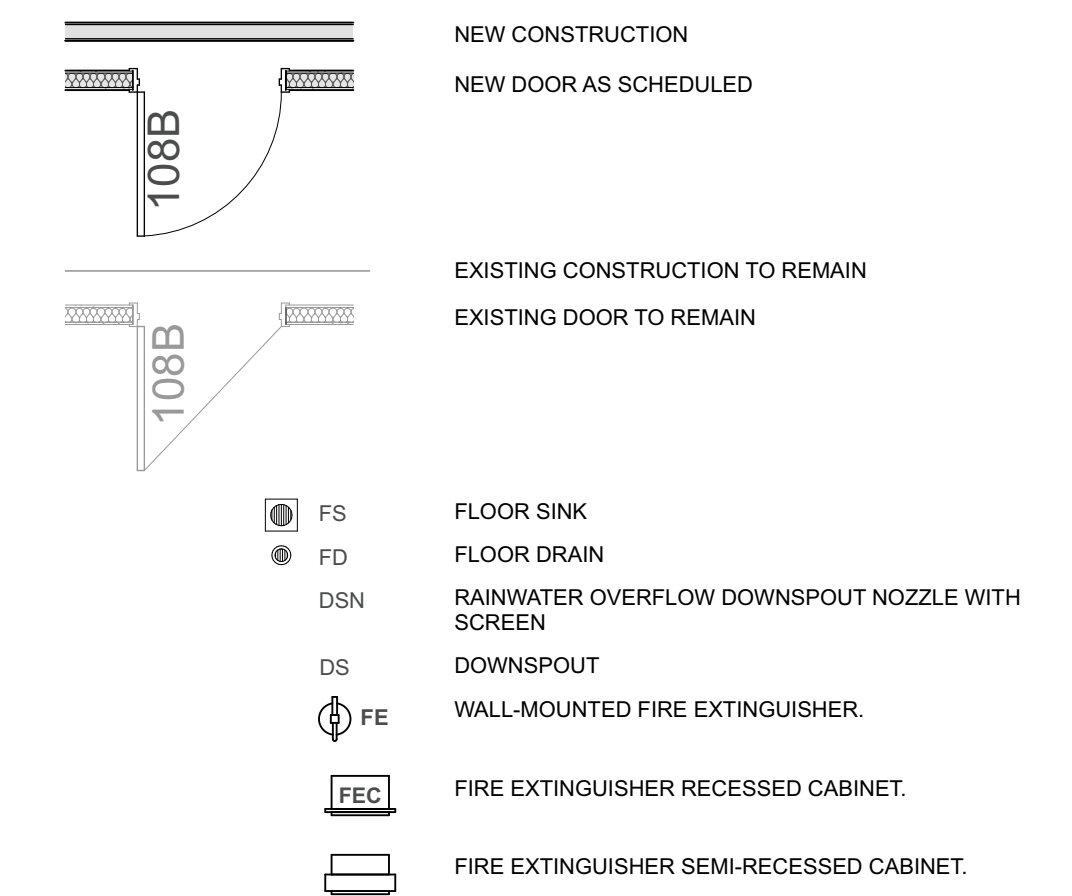


1 Foundation Plan
SCALE: 3/16" = 1'-0"

FLOOR PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
2. DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE LOCATED 5" FROM THE FINISHED WALL OR PARTITION TO OUTSIDE FACE OF FINISHED JAMB.
3. G.C. RESPONSIBLE FOR VERIFYING ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY CONDITIONS NOT MATCHING THE DESIGN INTENT OF THE DRAWINGS.
4. G.C. RESPONSIBLE FOR VERIFYING OWNER PROVIDED EQUIPMENT & LOCATING BLOCKING IN WALLS.
5. ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, REGULATIONS ORDINANCES, AND STANDARDS.
6. CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING IN WALLS FOR SUPPORT OF ALL EQUIPMENT, SHELVING, ACCESSORIES, AND OTHER DEVICES REQUIRED.
7. DRAWINGS SHALL NOT BE SCALED. WRITTEN DIMENSIONS SHALL BE FOLLOWED.
8. G.C. SHALL COORDINATE ALL NECESSARY INSPECTIONS BY AUTHORITIES HAVING JURISDICTION PRIOR TO CONCEALMENT OF WORK TO BE INSPECTED BY OTHER TRADES.
9. A SET OF BUILDING PLANS AND SPECIFICATIONS APPROVED BY AUTHORITIES HAVING JURISDICTION AND MARKED "FIELD COPY" SHALL BE KEPT ON THE PROJECT DURING CONSTRUCTION UNTIL FINAL INSPECTION AND APPROVAL HAS BEEN MADE.
10. FOR AREAS ADJACENT TO CONSTRUCTION AND FOR ALL ELEMENTS TO REMAIN, CONTRACTOR SHALL PROVIDE PROTECTION FROM DAMAGE AND DEBRIS.

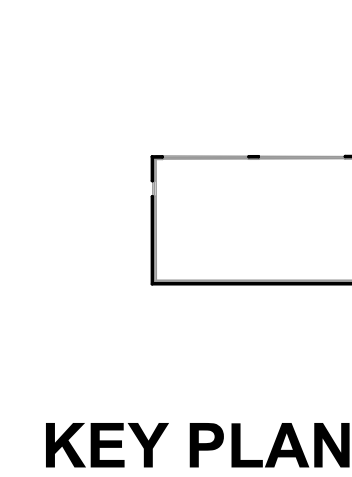
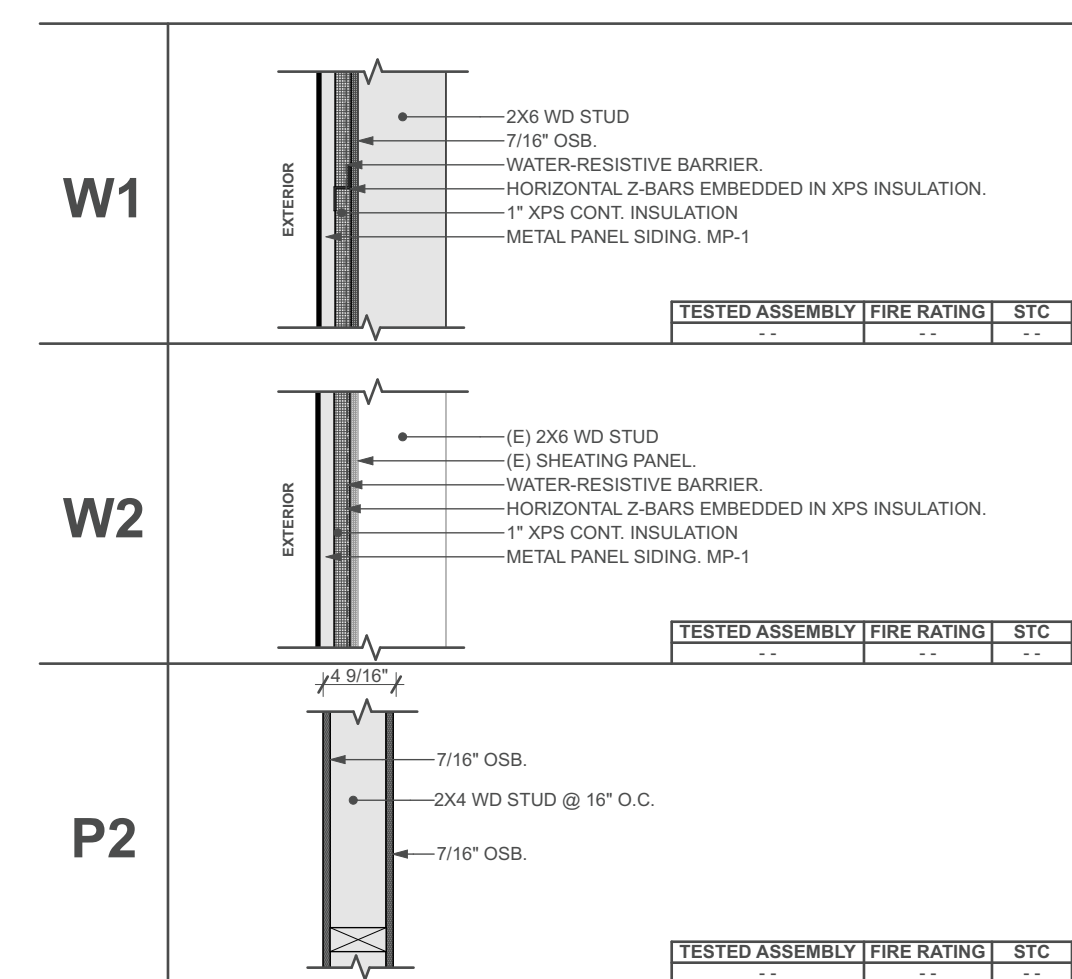
FLOOR PLAN LEGEND



1 SLOPED SLAB 1/8"-12" MIN. FROM SOUTH WALL TOWARDS O.H. DOOR, TYP.

FLOOR PLAN KEYNOTES

WALL & PARTITION ASSEMBLIES

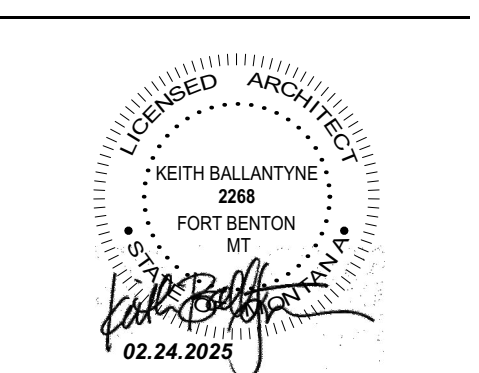


KEY PLAN



REGION 4 HEADQUARTERS GARAGE ADDITION

ADDRESS:
4600 GIANT SPRING RD,
GREAT FALLS, MT, 59405
PROJECT NUMBER:
24048

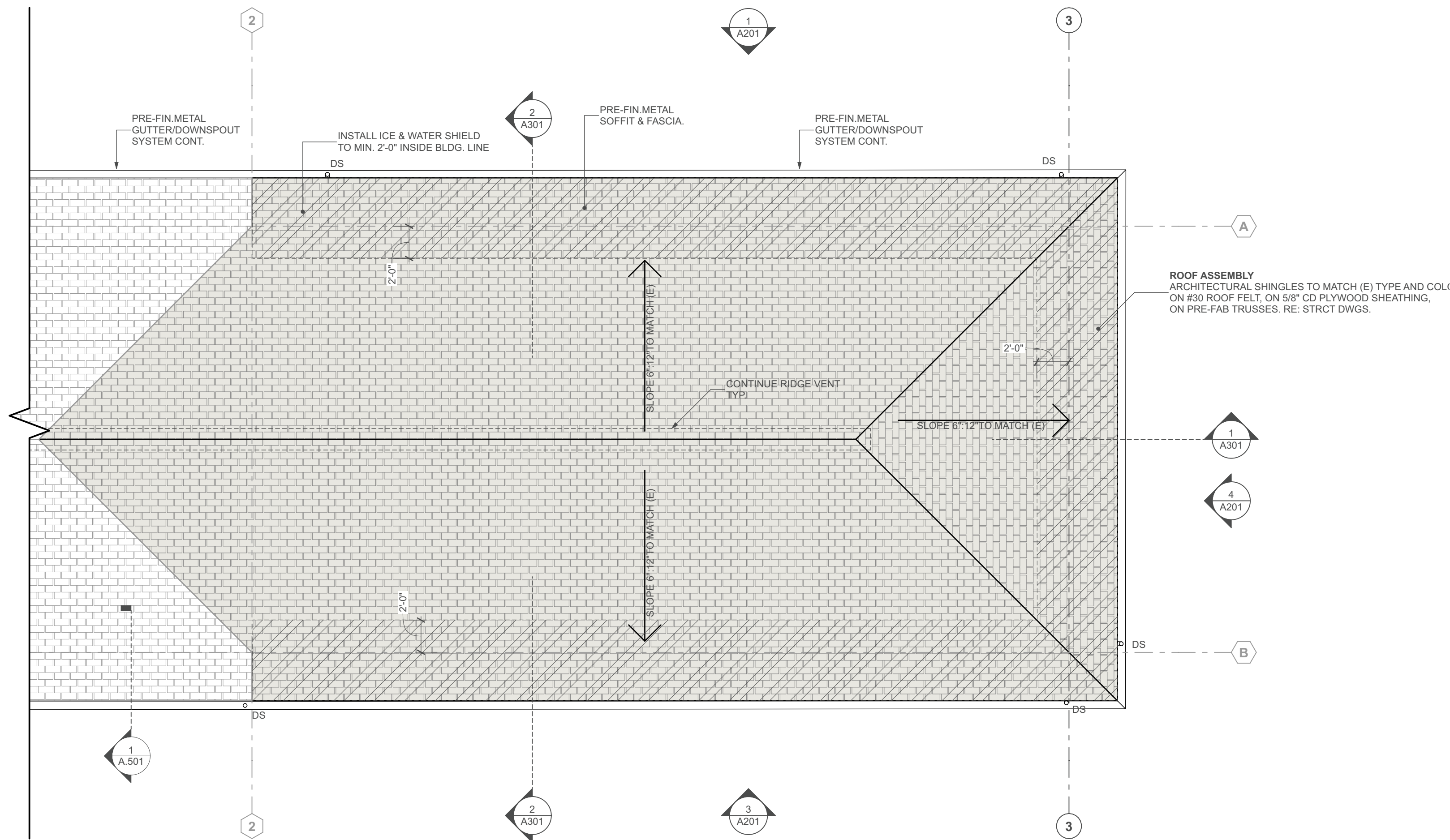


REVISIONS	DATE	ISSUANCE
	1/31/25	BUILDING PERMIT SET

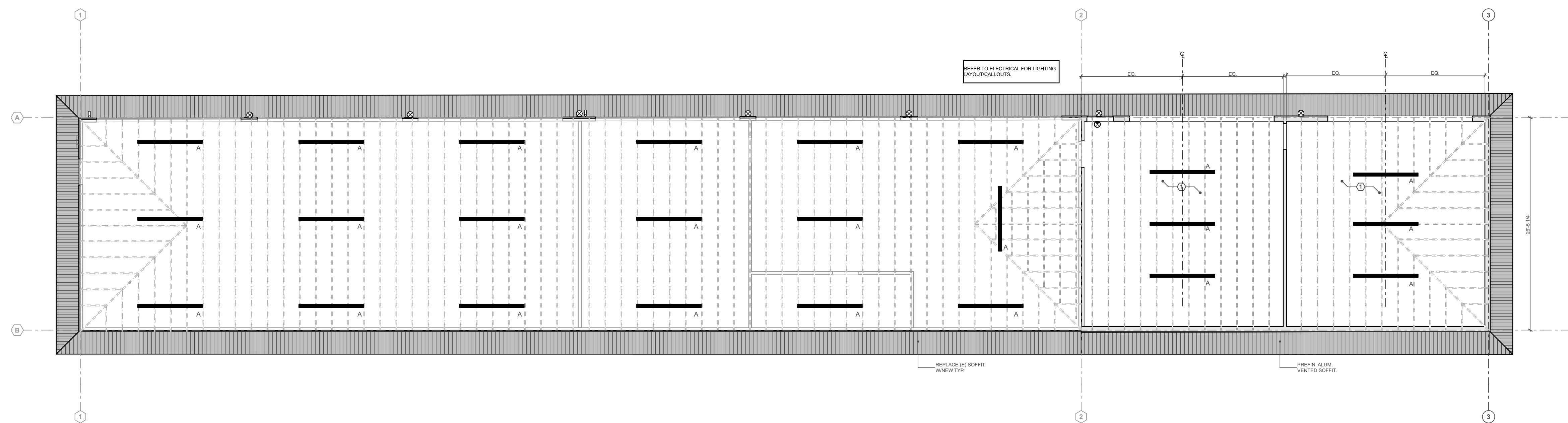
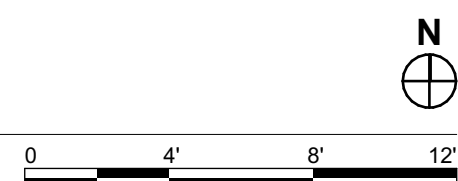
PHASE:
Building Permit Set
SHEET ISSUE DATE:
02.24.2025
DRAWN BY: AM & IB APPROVED BY: KB
SHEET TITLE:
Floor Plan & Foundation Plan

SHEET NUMBER

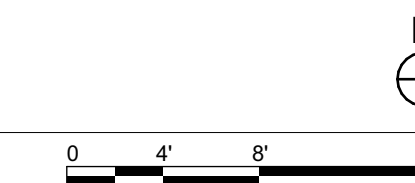
A101



2 Roof Plan
SCALE: 3/16" = 1'-0"



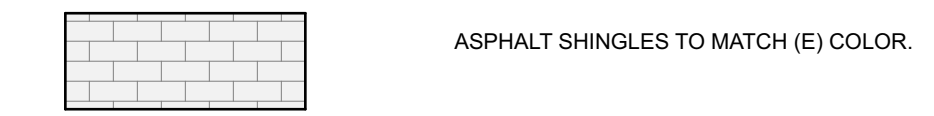
1 RCP Plan | Main Level
SCALE: 1/8" = 1'-0"



ROOF PLAN NOTES

1. ROOF DETAILS (RE) ARE PROVIDED TO INDICATE DESIGN INTENT ONLY. ALL ROOFING DETAILS ARE TO BE APPROVED BY THE ROOFING MFR. DETAILS BY THE ARCHITECT DO NOT OVERRIDE THE INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS.

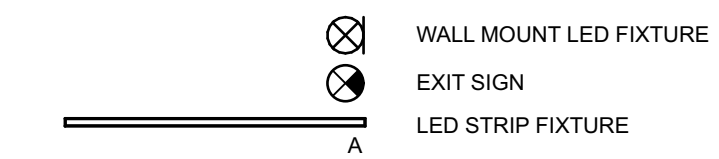
ROOF PLAN LEGEND



REFLECTED CEILING PLAN NOTES

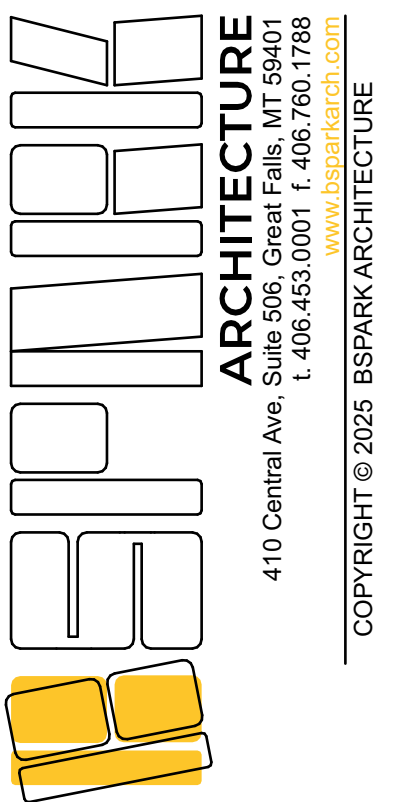
1. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED. CLEAR DIMENSIONS (NOTED AS "CLR") ARE MEASURED TO FACE OF FINISH. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
2. EMERGENCY LIGHTING SHALL REMAIN FUNCTIONAL DURING AND AFTER CONSTRUCTION.
3. COORDINATE WITH ELECTRICAL DWGS FOR FIXTURES.

REFLECTED CEILING PLAN LEGEND (SEE ELECT.)



RCP PLAN KEYNOTES

- 1 OPEN TO STRUCTURE



REGION 4 HEADQUARTERS GARAGE ADDITION

ADDRESS: 4600 GIANT SPRING RD., GREAT FALLS, MT, 59405
PROJECT NUMBER: 24048

REVISIONS:
 DATE: 1/21/25 ISSUANCE: BUILDING PERMIT SET
 PHASE: Building Permit Set
 SHEET ISSUE DATE: 02.24.2025
 DRAWN BY: AM & IB APPROVED BY: KB
 SHEET TITLE: Roof Plan & RCP Plan
 SHEET NUMBER: A102



**REGION 4
HEADQUARTERS
GARAGE ADDITION**

ADDRESS:
4600 GIANT SPRING RD,
GREAT FALLS, MT, 59405
PROJECT NUMBER:
24048

EXTERIOR ELEVATION NOTES

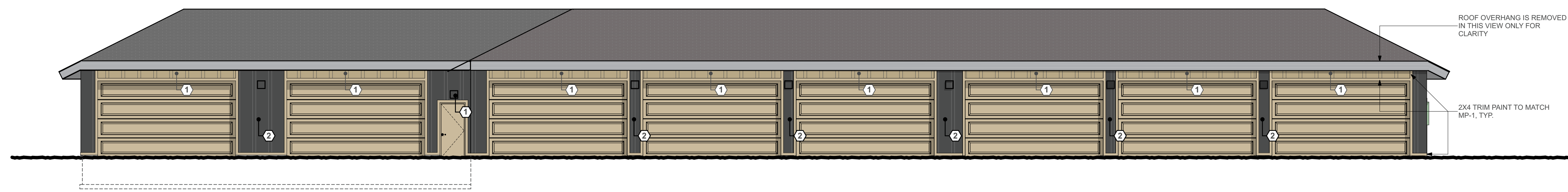
1. ALL MATERIALS, PRODUCTS, AND COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE PRODUCT MANUFACTURER'S WRITTEN INSTRUCTIONS, AND SHALL BE INSTALLED AS THE PRODUCT IS INTENDED TO BE USED, AS PER THE MANUFACTURER'S RECOMMENDATIONS.
2. ALL EXTERIOR WALLS WITHOUT A DESIGNATED FINISH ARE TO BE PAINTED (PT-3), UNO.
3. ALL EXTERIOR SIGNAGE FOR REVIEW UNDER A SEPARATE PERMIT, NO PART OF THIS PERMIT SET.
4. ALL EXPOSED PIPING AND CONDUIT SHALL BE PAINTED TO MATCH ADJACENT WALL MATERIAL.
5. PROVIDE SOLID BLOCKING WALL FOR BUILDING MOUNTED FIXTURES AND SIGNAGE AS REQUIRED.

EXTERIOR FINISHES

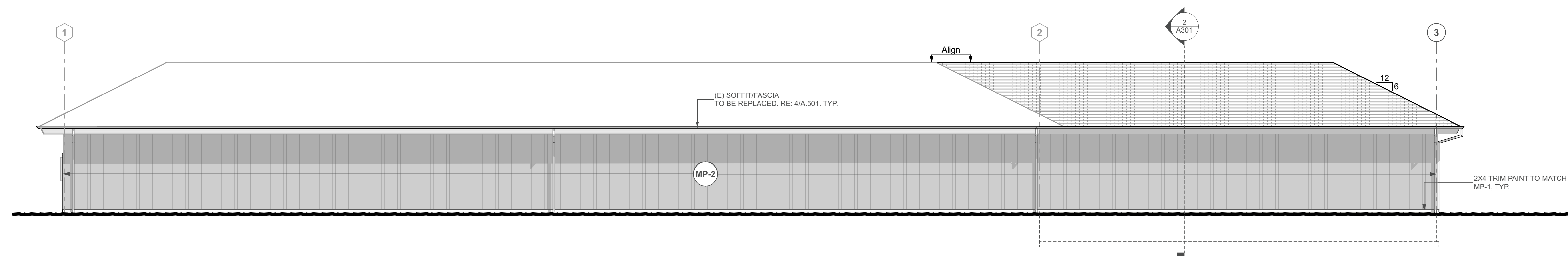
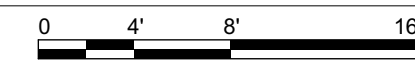
PT-4	PAINT	
MANUFACTURER:	SHERWIN WILLIAMS	
COLOR:	TBD BY ARCHITECT	
STYLE/FINISH:	LOW VOC, EMERALD INTERIOR ACRYLIC LATEX MATTE.	
PREMIER:	MULTI-PURPOSE LATEX PRIMER SEALER.	
NOTES:		
MP-1	BOARD AND BATTEN METAL SIDING BB-20	
MANUFACTURER:	WESTERN STATES METAL ROOFING	
COLOR:	TO MATCH JAMES HARDIE AUTUMN TAN.	
NOTES:	PANEL WIDTH 20", 26 GAUGE STEEL.	
MP-2	BOARD AND BATTEN METAL SIDING BB-20	
MANUFACTURER:	WESTERN STATES METAL ROOFING	
COLOR:	TO MATCH JAMES HARDIE ESPRESSO.	
NOTES:	PANEL WIDTH 20", 26 GAUGE STEEL.	

EXTERIOR ELEVATION KEYNOTES

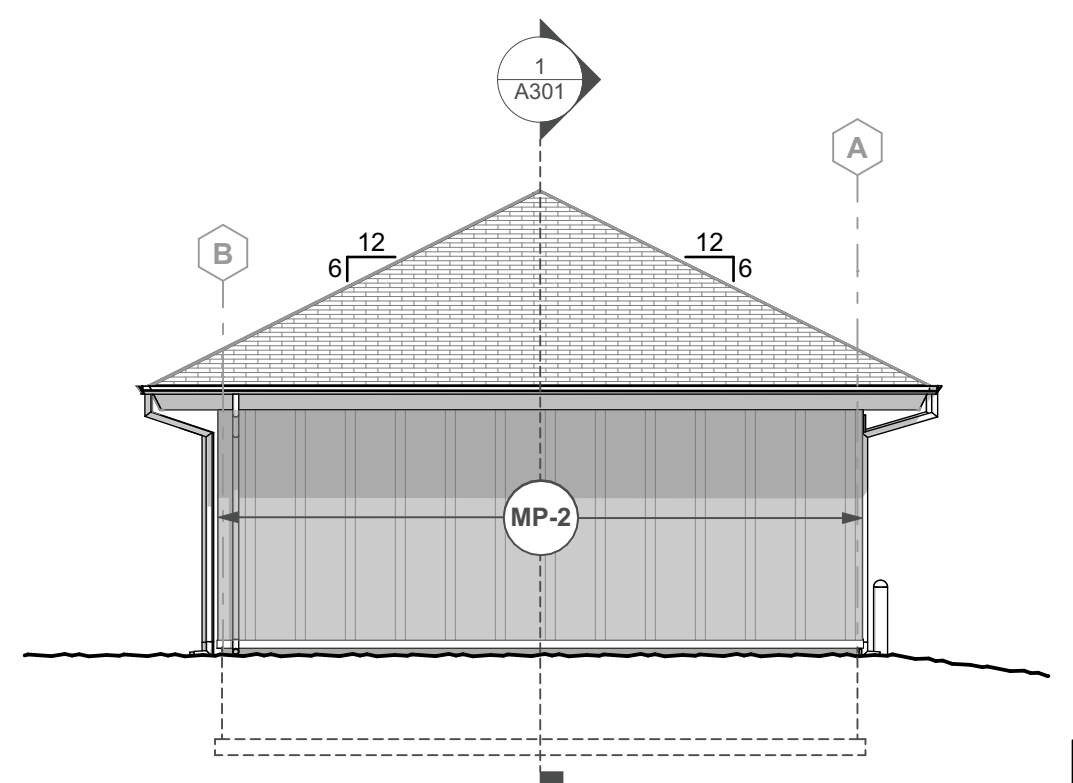
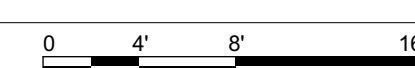
1. INSTALLATION STARTS WITH A BOARD AT THE CENTER OF THE DOOR TYP.
2. INSTALLATION STARTS WITH A BOARD AT CENTER TYP.



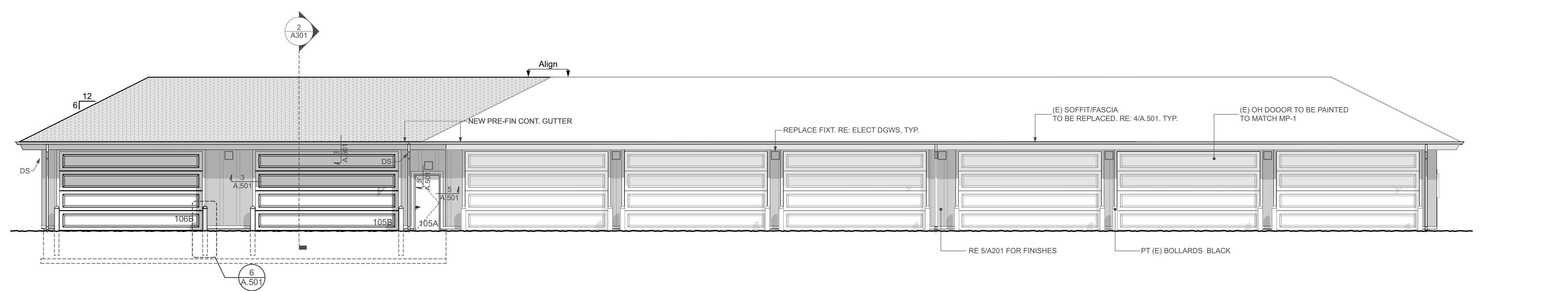
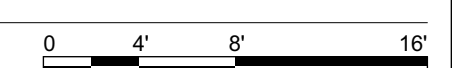
5 North Elevation Full View
SCALE: 1/8" = 1'-0"



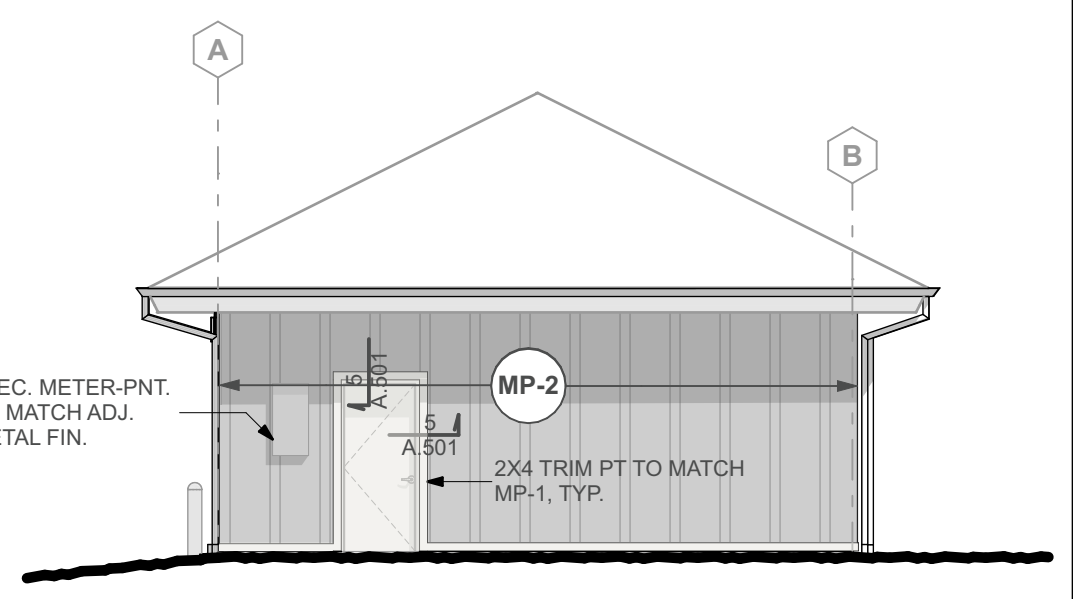
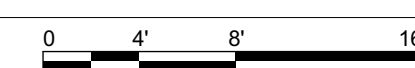
3 South Elevation
SCALE: 1/8" = 1'-0"



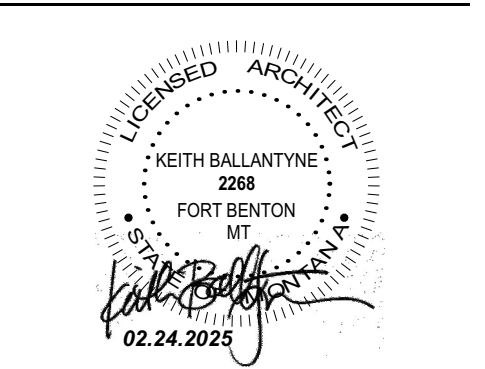
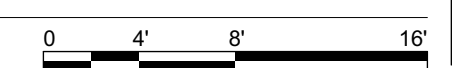
4 East Elevation
SCALE: 1/8" = 1'-0"



1 North Elevation
SCALE: 1/8" = 1'-0"



2 West Elevation
SCALE: 1/8" = 1'-0"

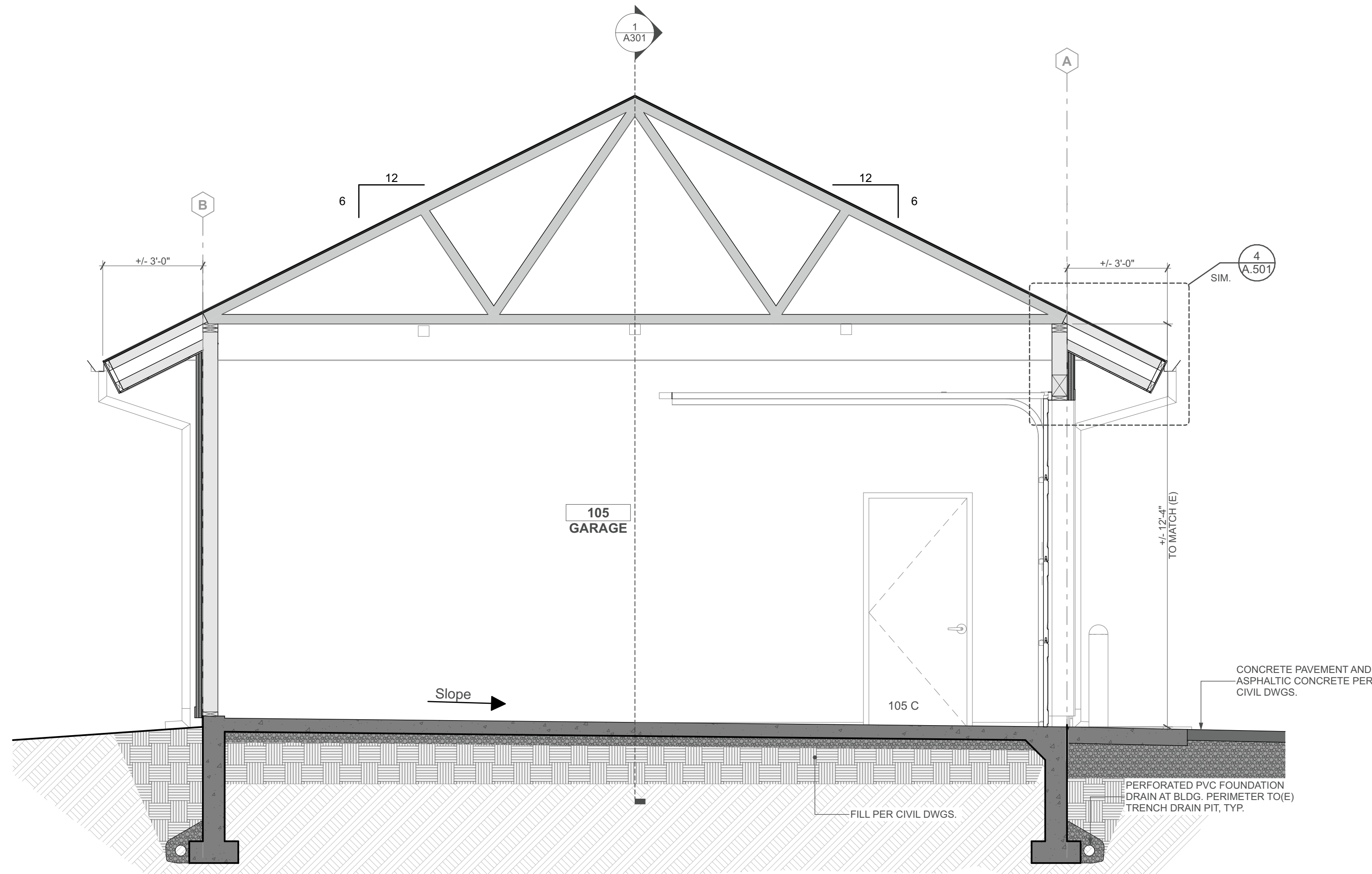


REVISIONS	DATE	ISSUANCE
	1/31/25	BUILDING PERMIT SET

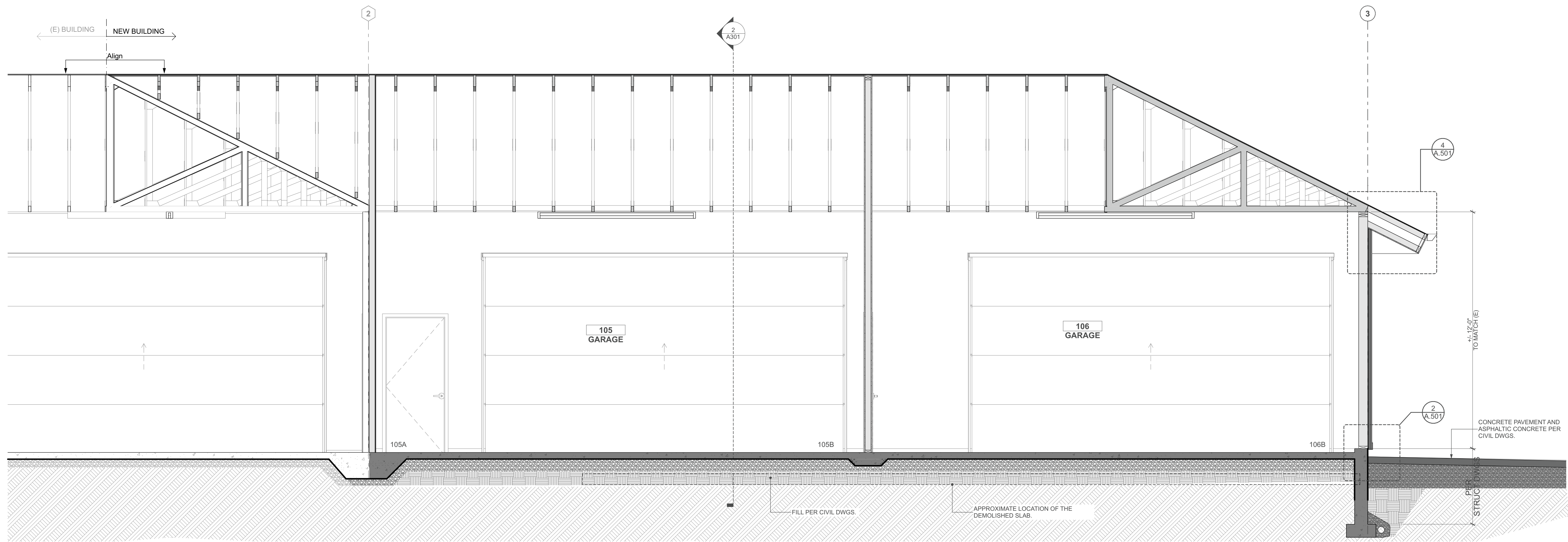
PHASE:
Building Permit Set
SHEET ISSUE DATE:
02.24.2025
DRAWN BY: AM & IB APPROVED BY: KB
SHEET TITLE:
Exterior Elevation

SHEET NUMBER

A201



2 Building Section
SCALE: 3/8" = 1'-0"



1 Building Section
SCALE: 3/8" = 1'-0"

**REGION 4
HEADQUARTERS
GARAGE ADDITION**

ADDRESS:
4600 GIANT SPRING RD,
GREAT FALLS, MT, 59405
PROJECT NO.:
24048

REVISIONS:

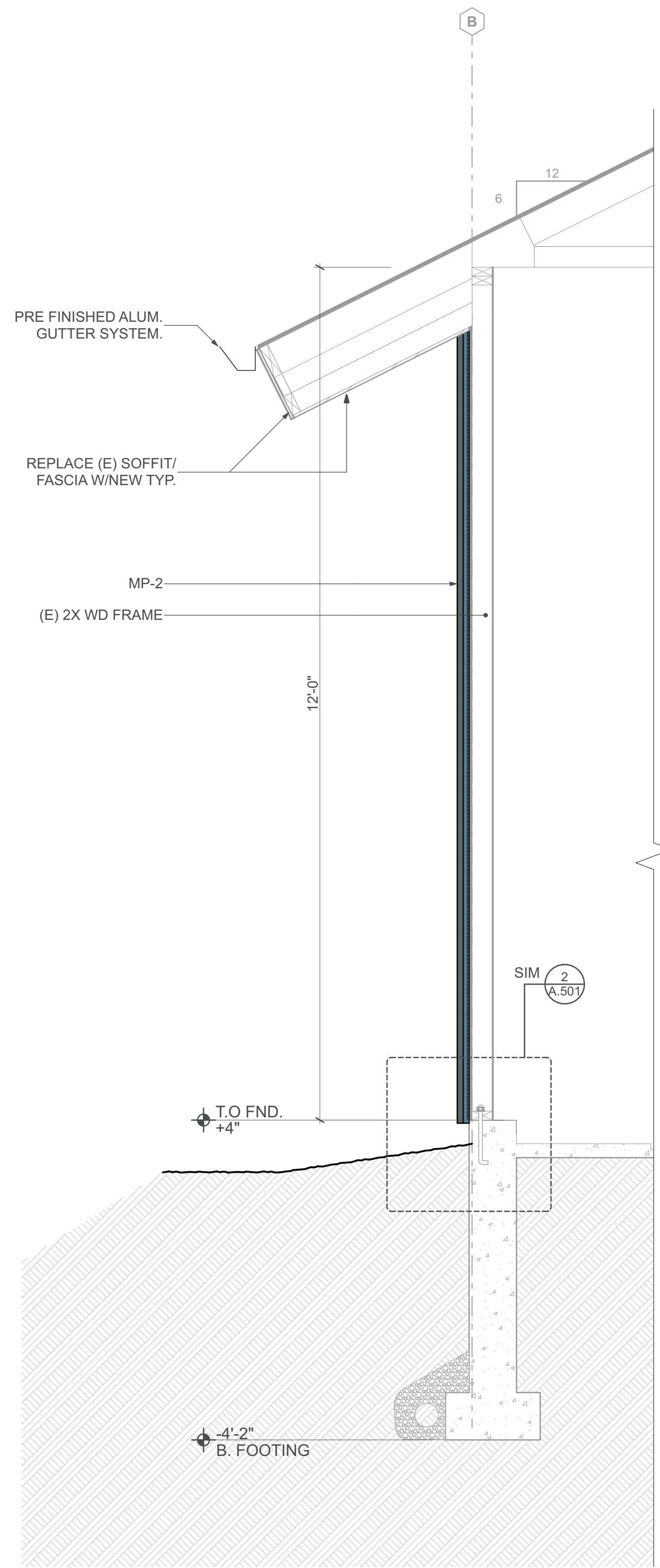
DATE	ISSUANCE
1/31/25	BUILDING PERMIT SET

DATE: 02.24.2025

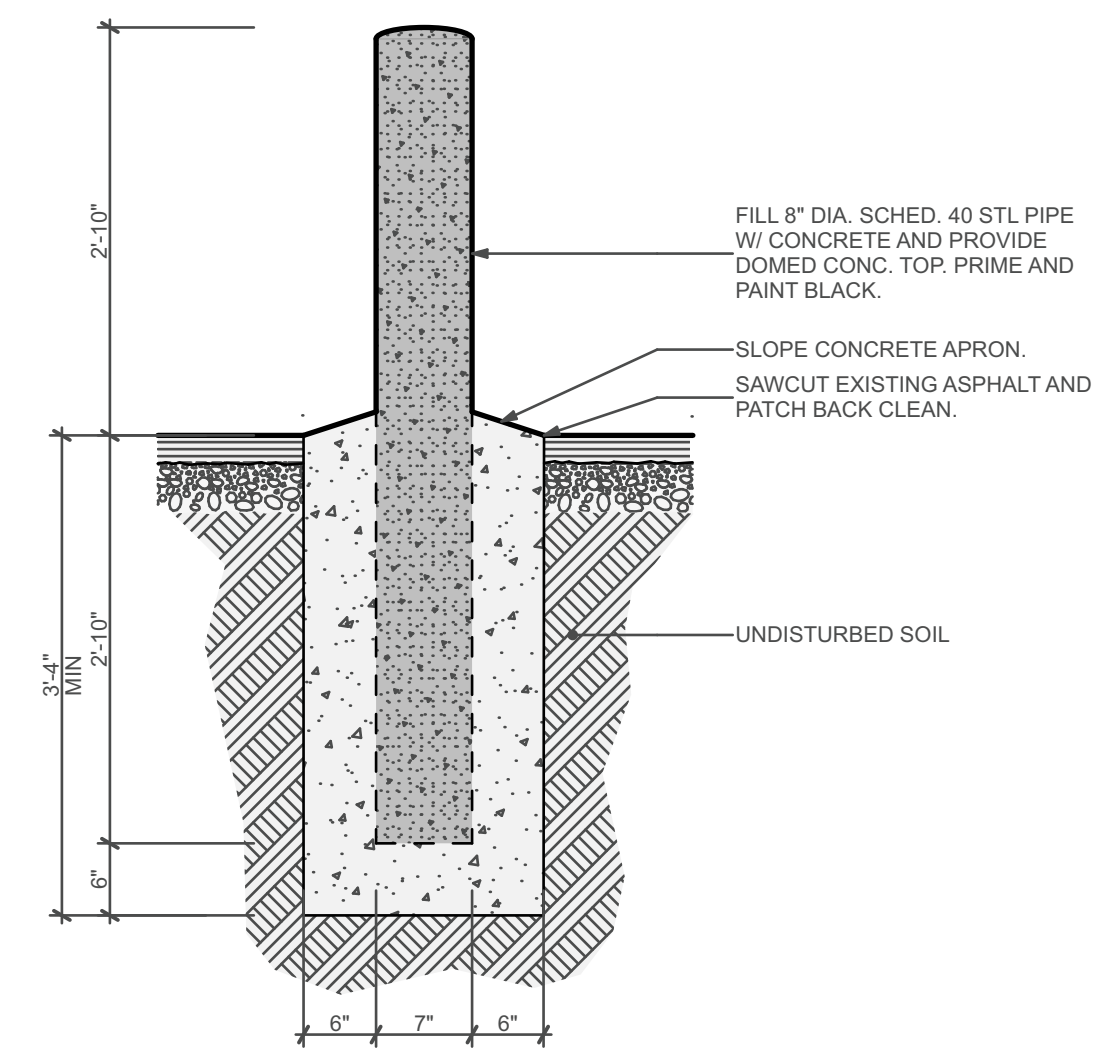
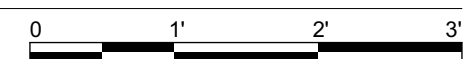
DRAWN BY: AM & IB APPROVED BY: KB

SHEET TITLE: Building Sections

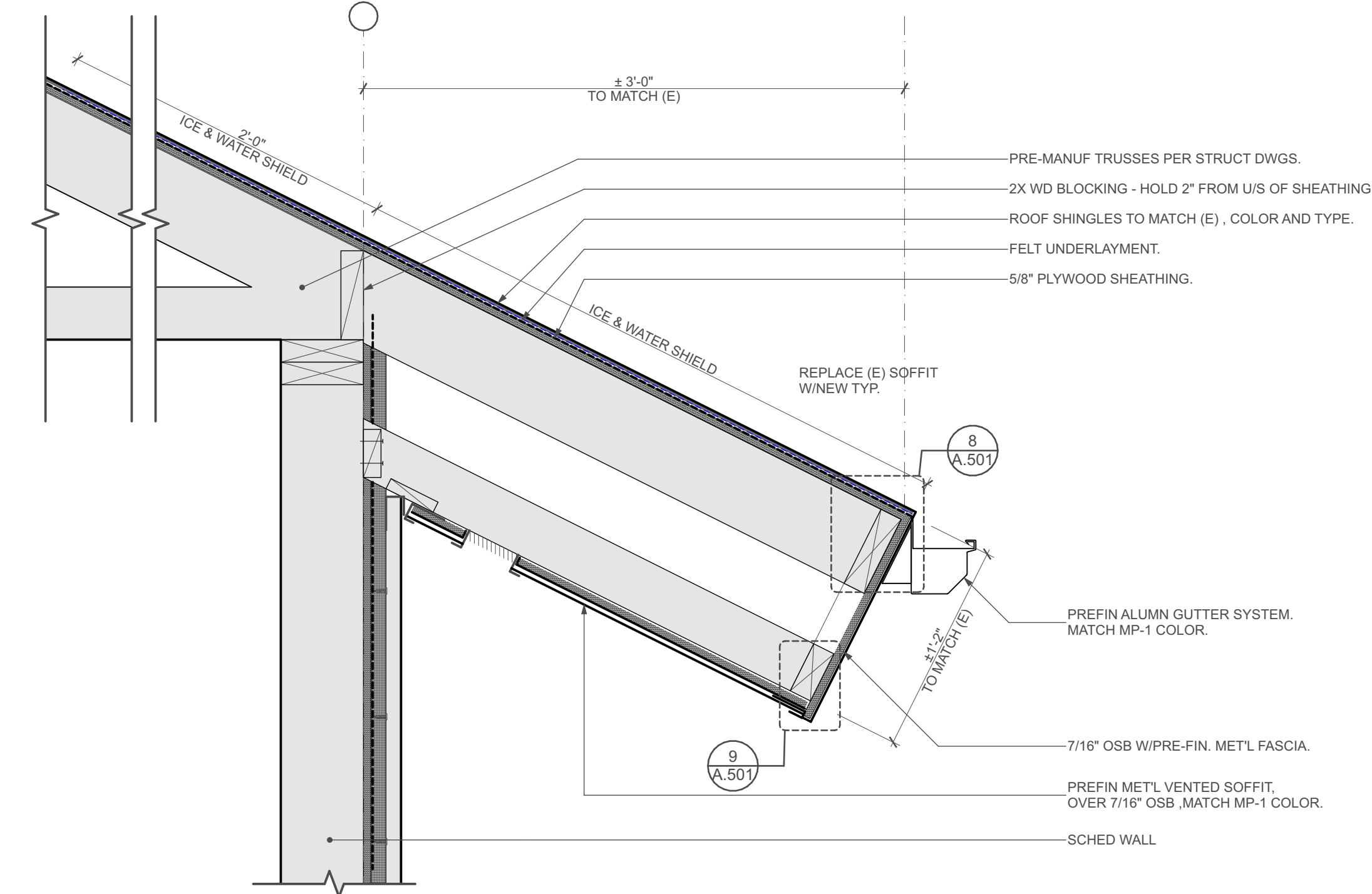
SHEET NUMBER



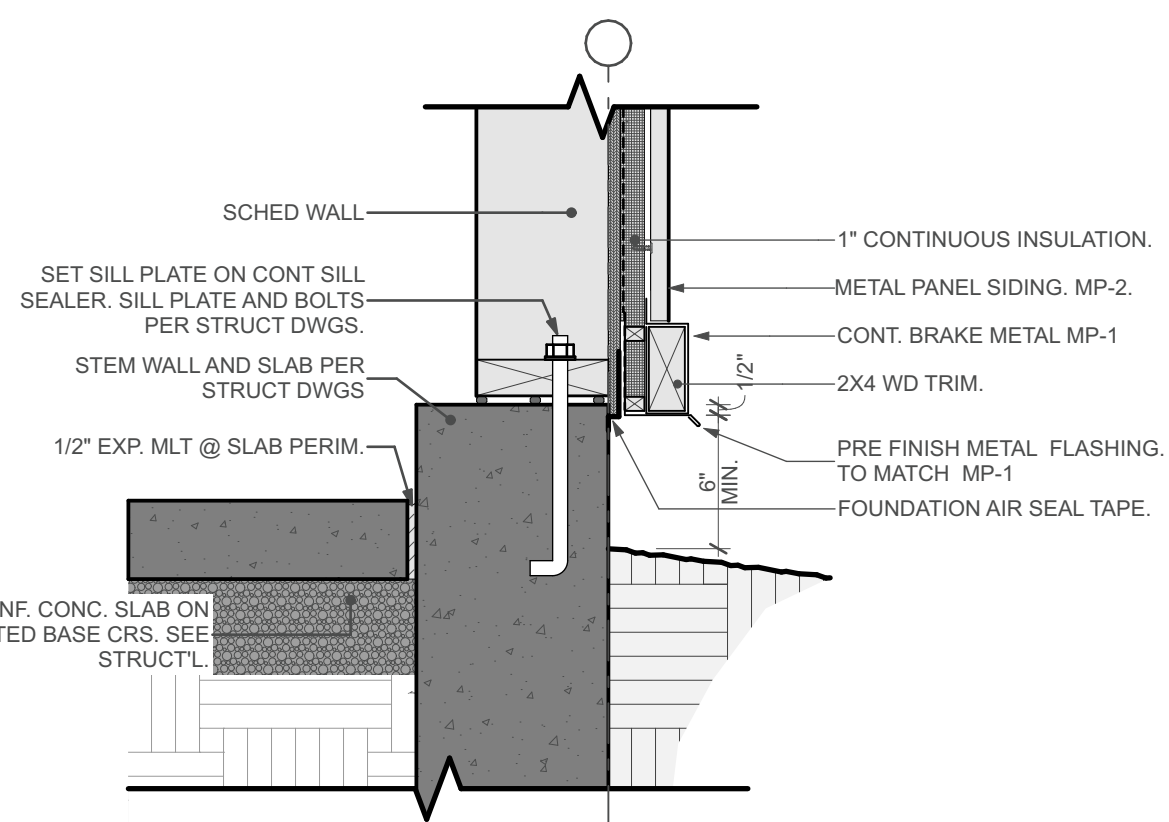
1 Wall Section @ (E) South
SCALE: 3/4" = 1'-0"



6 Bollard Detail
SCALE: 3/4" = 1'-0"

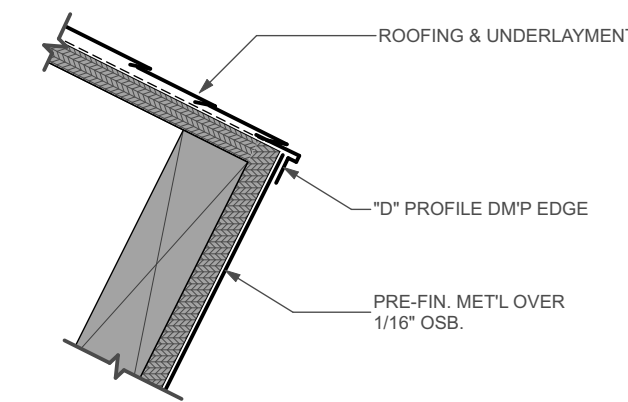


4 Roof Eave Detail
SCALE: 1 1/2" = 1'-0"

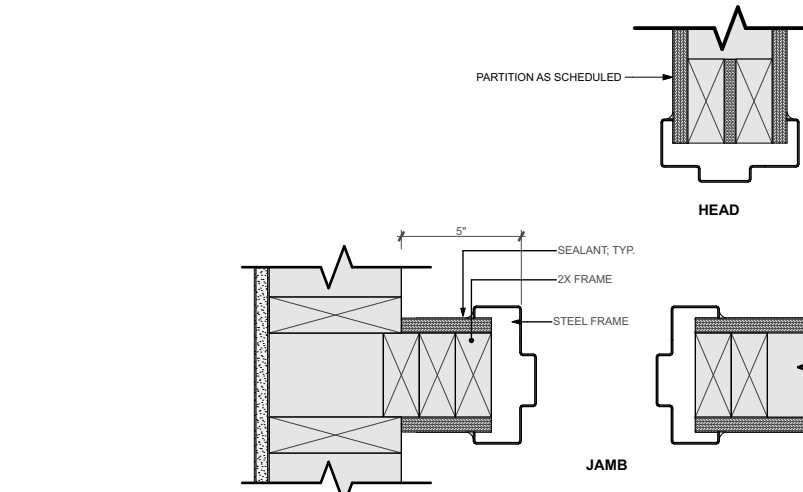
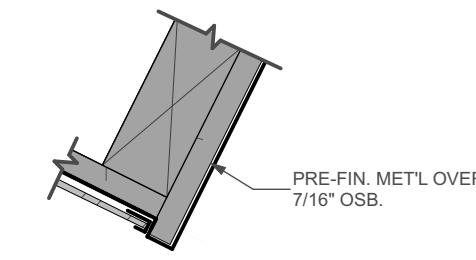


2 Detail Foundation
SCALE: 1 1/2" = 1'-0"

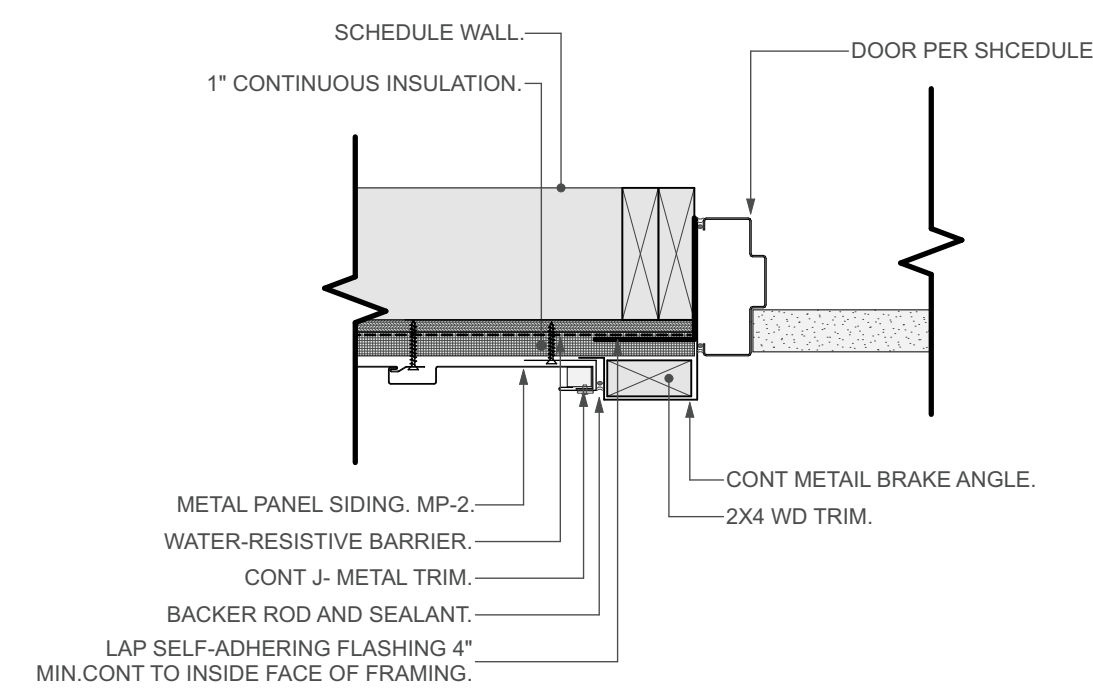
8 Detail
SCALE: 3" = 1'-0"



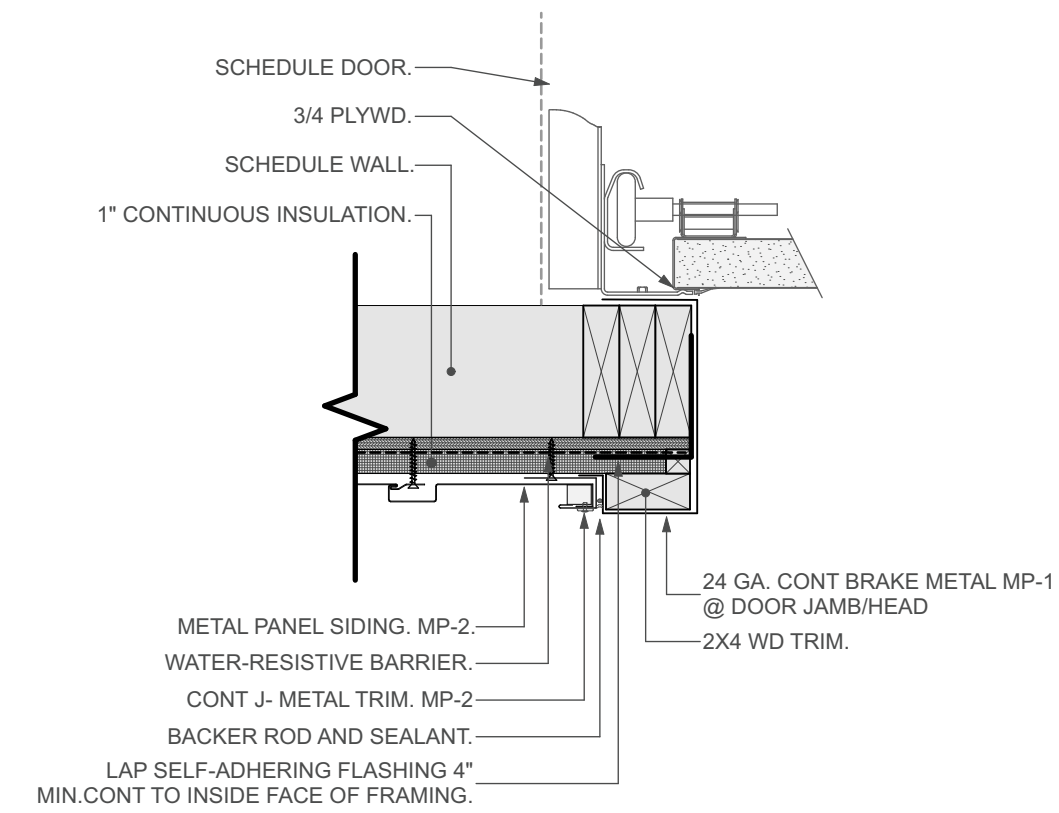
9 DETAIL
SCALE: 3" = 1'-0"



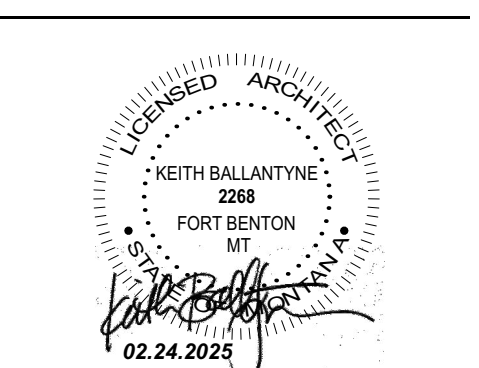
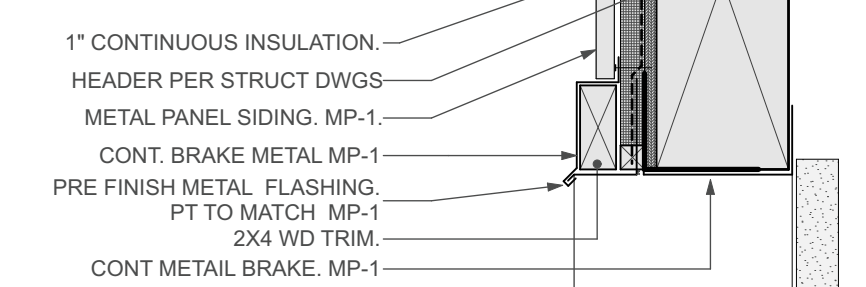
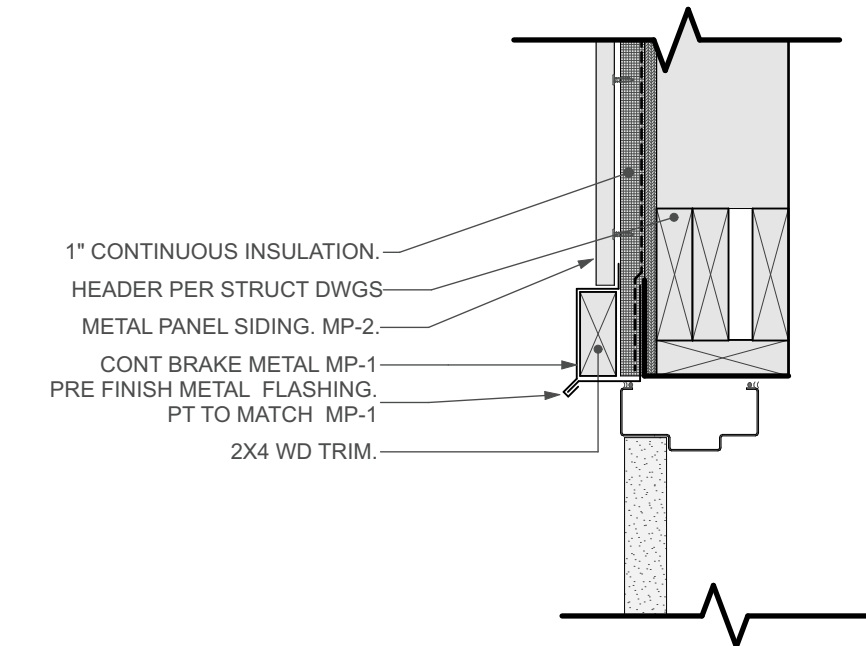
7 HM INTERIOR DOOR JAMB & HEAD
SCALE: 1 1/2" = 1'-0"



5 HM DOOR JAMB & HEAD
SCALE: 1 1/2" = 1'-0"



3 OH DOOR JAMB & HEAD
SCALE: 1 1/2" = 1'-0"



REVISIONS	DATE	ISSUANCE
	1/31/25	BUILDING PERMIT SET

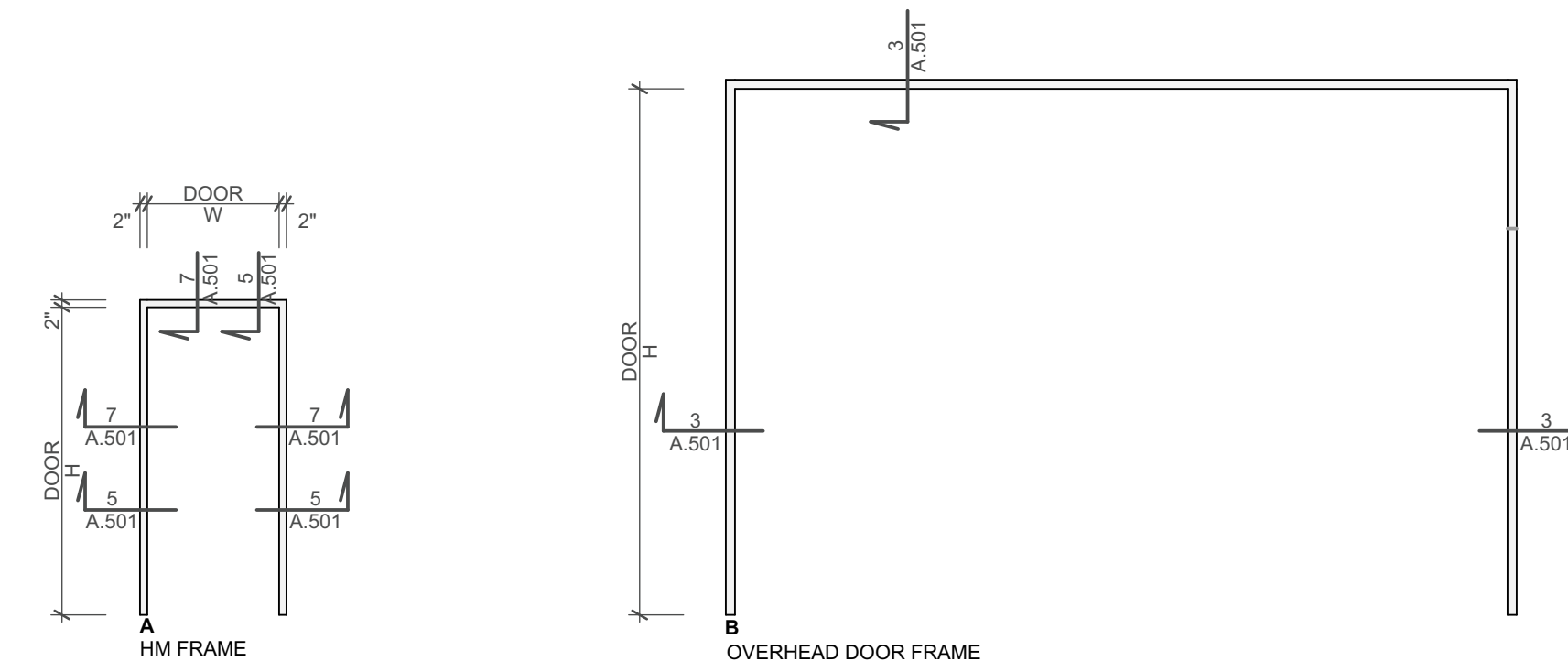
PHASE: Building Permit Set
SHEET ISSUE DATE: 02.24.2025
DRAWN BY: AM & IB APPROVED BY: KB
SHEET TITLE: Exterior Details

DOOR SCHEDULE												
ID	STATUS	W X H	DOOR			FRAME			FR	STC	HRW	NOTES
			TYPE	MAT	FIN	TYPE	MAT	FIN				
101A	Existing	3'-0" x 7'-0"	A	HM	PT	A	HM	PT	--		N/A	1,2,3,4,5
101B	Existing	18'-0" x 10'-0"	B	MFR	MFR	B	MFR	MFR	--		N/A	5
101B	Existing	18'-0" x 10'-0"	B	MFR	MFR	B	MFR	MFR	--		N/A	5
101C	Existing	18'-0" x 10'-0"	B	MFR	MFR	B	MFR	MFR	--		N/A	5
102	Existing	18'-0" x 10'-0"	B	MFR	MFR	B	MFR	MFR	--		N/A	5
103A	Existing	18'-0" x 10'-0"	B	MFR	MFR	B	MFR	MFR	--		N/A	5
103B	Existing	18'-0" x 10'-0"	B	MFR	MFR	B	MFR	MFR	--		N/A	5
103C	Existing	3'-0" x 7'-0"	A	--	--	A	--	--	--		N/A	5
103D	Existing	3'-0" x 7'-0"	A	--	--	A	--	--	--		N/A	5
105C	Existing	3'-0" x 7'-0"	A	HM	BLACK	A	HM	BLACK	--		N/A	1,2,3,5
105A	New	3'-0" x 7'-0"	A	HM	PT	A	HM	PT	--		HW.01	4,5
105B	New	18'-0" x 10'-0"	B	MFR	PT	B	MFR	MFR	--		N/A	4,5
106A	New	3'-0" x 7'-0"	A	HM	PT	A	HM	PT	--		HW.02	4,5
106B	New	18'-0" x 10'-0"	B	MFR	PT	B	MFR	MFR	--		N/A	4,5

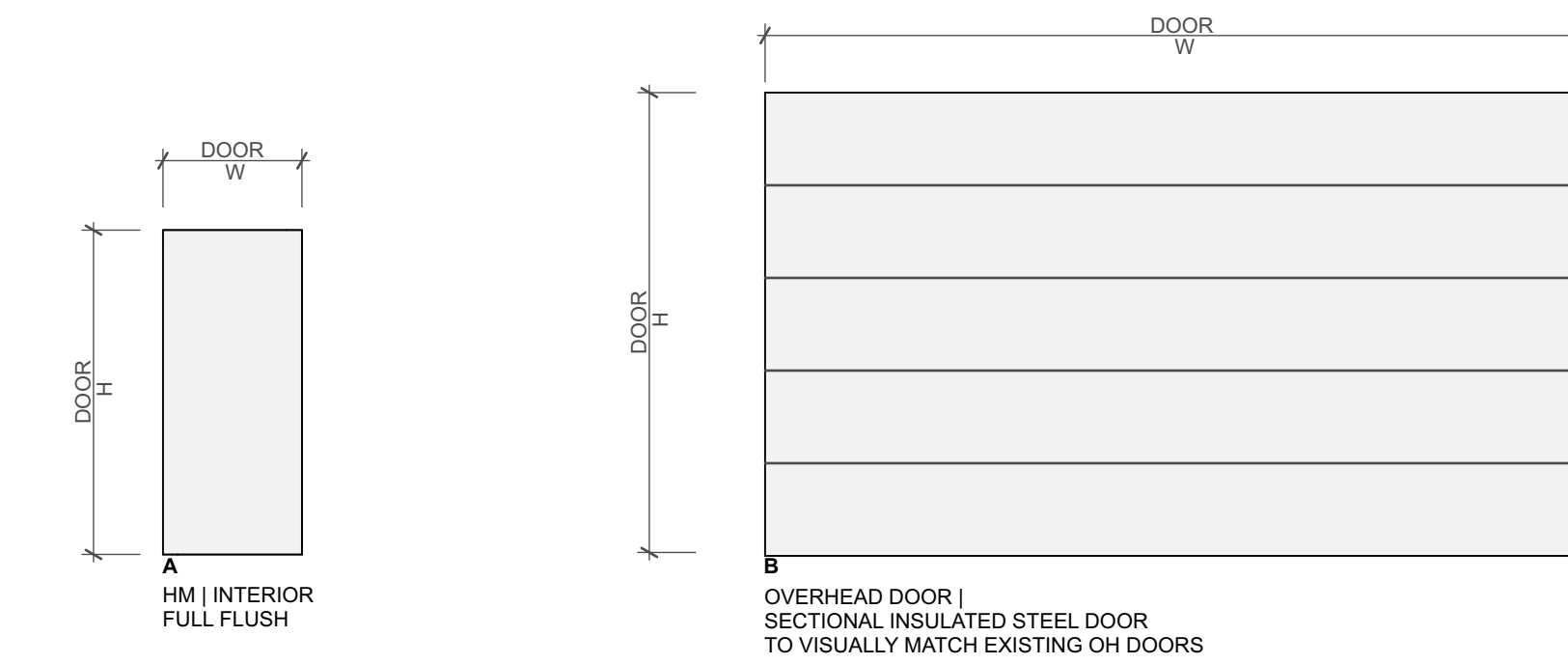
NOTES:

- REFURBISH DOOR AND FRAME FINISHES.
- VERIFY (E) DOOR HARDWARE IS WORKING PROPERLY.
- "DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS" TO BE POSTED WITH 1" LETTERS.
- PT TO MATCH MP-1
- INSTALL KEYPAD.

DOOR FRAME ELEVATIONS



DOOR PANEL ELEVATIONS



DOOR SCHEDULE | GENERAL NOTES

- ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- ALL DOOR HARDWARE SHALL BE ADA COMPLIANT. DOOR HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE.
- MAXIMUM EFFORT TO OPERATE EXTERIOR OR INTERIOR DOORS WITH CLOSERS SHALL NOT EXCEED 5 POUNDS AND 15 POUNDS FOR FIRE-RATED DOORS.
- INSTALLATION OF ALL FRAMES TO BE PER MANUFACTURER'S SPECIFICATIONS.
- FRAMES SHALL HAVE THREE SILENCERS PER STRIKE JAMB OR TWO PER HEAD ON DOUBLE DOOR OPENINGS.
- REINFORCE FRAMES FOR HARDWARE PER MANUFACTURER'S RECOMMENDATIONS.
- ALL DOORS SHALL BE 1 3/4" THICK U.N.O.

ABBREVIATIONS

ALUM	ALUMINUM
ANOD	ANODIZED
ASF	ALUMINUM STOREFRONT
HM	HOLLOW METAL
OH	OVERHEAD DOOR
STL	STEEL
WOD	WOOD
MED	MATCH EXISTING DOOR SIZE
MEF	MATCH EXISTING FINISH
VIF	VERIFY IN FIELD
ST	STAIN
PT	PAINT
PR	PAIR
MK	MCKINNEY
SU	SECURITRON
RO	ROCKWOOD
SC	SCHLAGE
RF	RIXSON
LC	LON CLOSERS
PE	PEMKO
OT	OTHER

DOOR HARDWARE SETS

HW.01 D:105 A			
(3)	HINGE FULL MORTISE	T4A3386 (NRP)	MK
	HVY WT. KEY PAD	KP10XG77 LL	SA
(1)	CYLINDRICAL LOCK		
(1)	SURFACE CLOSER	CPS7500	NO
(1)	KICK PLATE	K1050 10"x2" LDW CSK BEV	RO
(1)	GASKETING	2891APK	PE
(1)	RAINGUARD	346C	PE
(1)	SWEEP	315CN	PE
(1)	THRESHOLD	271A x FHSL14	PE

HW.02 D:106A			
(3)	HINGE FULL MORTISE	T4A3386 (NRP)	MK
	HVY WT. STOREROOM/CLOSET LOCK	10XG04 LL	SA
(1)	SURFACE CLOSER	(PS)2800ST	NO
(1)	KICK PLATE	K1050 10"x2" LDW CSK BEV	RO
(1)	WALLSTOP	409/441 AS REQ'D	RO
(1)	GASKETING	2891APK	PE

HW.03 D:105B, 106B			
(1)	HARDWARE	BY DOOR MANUFACTURER	OT

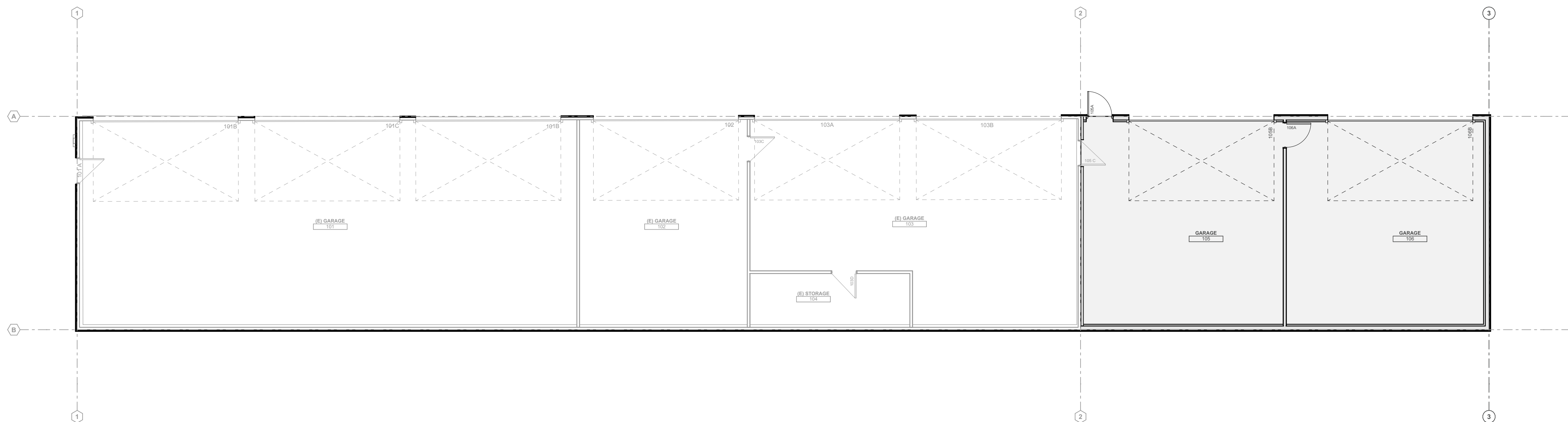
HW.04 D:101B, 101C, 102, 103A, 103B			
(1)	KEY PAD	KP-400	AK

HW.05 D:105 C (EXISTING)			
(1)	KEY PAD	KP10XG77 LL	SA
(1)	CYLINDRICAL LOCK		
(1)	SURFACE CLOSER	CPS7500T	NO
(1)	KICK PLATE	K1050 10"x2" LDW CSK BEV	RO

HW.06 D:101 A (EXISTING)			
(1)	KEY PAD	KP10XG77 LL	SA
(1)	CYLINDRICAL LOCK		
(1)	SURFACE CLOSER	(PS)2800ST	NO
(1)	KICK PLATE	K1050 10"x2" LDW CSK BEV	RO
(1)	WALLSTOP	409/441 AS REQ'D	RO

NOTES

- REFURBISH DOOR AND FRAME FINISHES.
- VERIFY (E) DOOR HARDWARE IS WORKING ACCORDINGLY.
- "DOORS TO REMAIN UNLOCKED DURING BUSINESS HOURS" TO BE POSTED WITH 1" LETTERS.
- DOOR PROVIDED WITH WALK-IN REFRIGERATION UNIT.
- INSTALL KEYPAD.

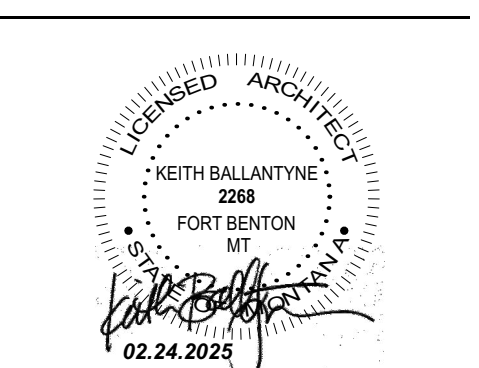


Key Plan | Door Location



REGION 4 HEADQUARTERS GARAGE ADDITION

ADDRESS:
 4600 GIANT SPRING RD,
 GREAT FALLS, MT, 59405
 PROJECT NUMBER:
 24048



REVISIONS	DATE	ISSUANCE
	1/31/25	BUILDING PERMIT SET

PHASE:
Building Permit Set
 SHEET ISSUE DATE:
02.24.2025
 DRAWN BY: AM & IB APPROVED BY: KB
 SHEET TITLE:
Door & Hardware Schedules & Details

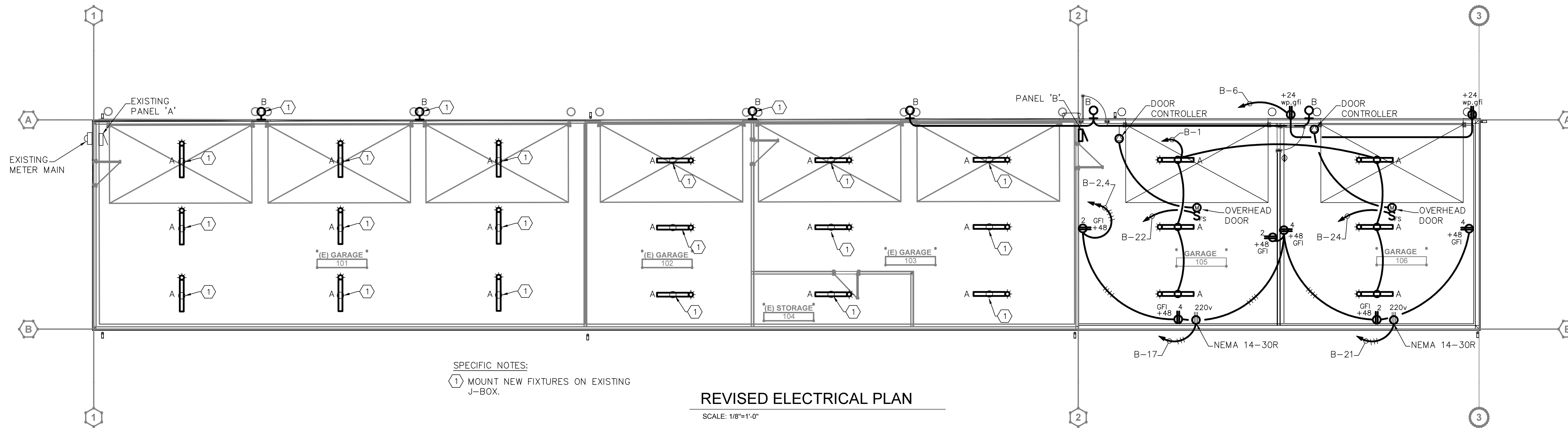
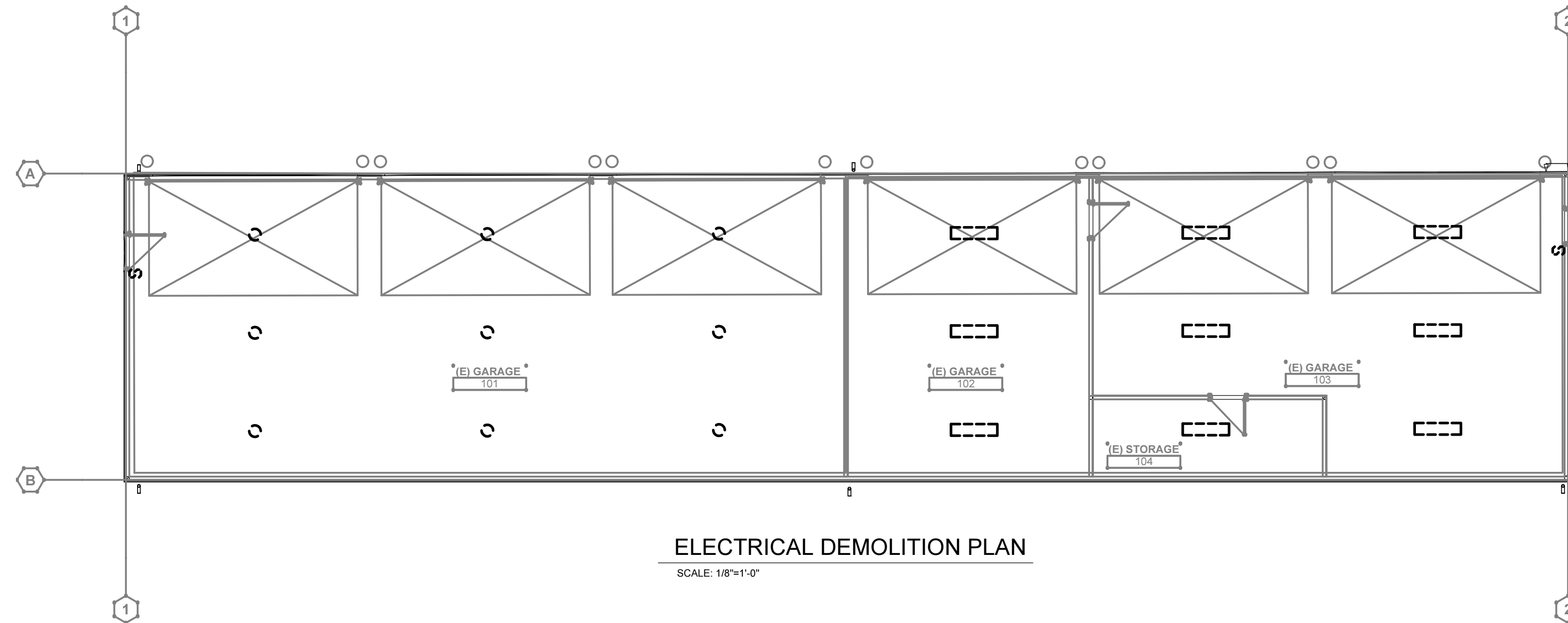
SHEET NUMBER

A601

SECTION 2026.40102 OFFICIAL STAMPED RECORD BEHAVIORS ARE LOCATED AT THE BUSINESS OFFICE OF THE REGISTERED PROFESSIONAL AND SEALED THIS DRAWING. DEVIATIONS OR MODIFICATIONS FROM THE OFFICIAL SEALED SET V/O THE BENEFIT OF THE PROFESSIONAL OF RECORD IS AT THE RISK OF THE CONTRACTOR OR OWNER.

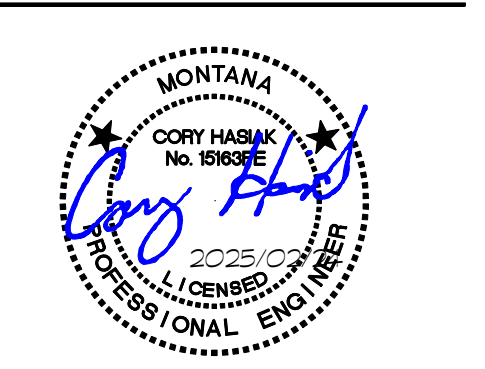
ELECTRICAL DEMOLITION NOTES:

1. WHEREVER EXISTING EQUIPMENT IS BEING REMOVED OR RELOCATED, CIRCUITS SHALL BE EXTENDED, TERMINATED, OR REROUTED AS REQUIRED TO MAINTAIN SERVICE TO EQUIPMENT AND DEVICES REMAINING.
2. ELECTRICAL DEVICES SHOWN LIGHT AND SOLID ARE EXISTING TO REMAIN. DEVICES SHOWN HEAVY AND DASHED ARE EXISTING TO BE RELOCATED OR REMOVED.
3. OUTLETS, FIXTURES, SWITCHES, OR OTHER DEVICES BEING REMOVED SHALL HAVE BLANK COVER PLATES INSTALLED WHERE IT IS NOT PROTOCOL TO REMOVE BOX.
4. THE CONTRACTOR SHALL BE COGNIZANT THAT THIS IS A REMODELING PROJECT AND AS SUCH, CERTAIN ITEMS CANNOT BE FULLY ILLUSTRATED NOR EXPLAINED WITHOUT FIELD OBSERVATION. THEREFORE, THE CONTRACTOR SHALL VISIT AND EXAMINE THE SITE AND BUILDING IN EVERY DETAIL AS PERTAINS TO THIS PROJECT AND MAKE ALLOWANCES IN HIS PROPOSAL FOR ALL CONDITIONS THAT WILL AFFECT THE WORK INDICATED IN THE PROJECT MANUAL AND CONTRACT DOCUMENTS.
5. PLANS SHOW MAJOR COMPONENTS OF DEMOLITION. COMPLETELY DEMOLISH ALL ITEMS EXISTING WHICH ARE NOT REUSED IN THE NEW CONSTRUCTION WHETHER INDICATED OR NOT. THE INTENT IS TO HAVE ALL NON-USED ITEMS AND EQUIPMENT COMPLETELY REMOVED AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.



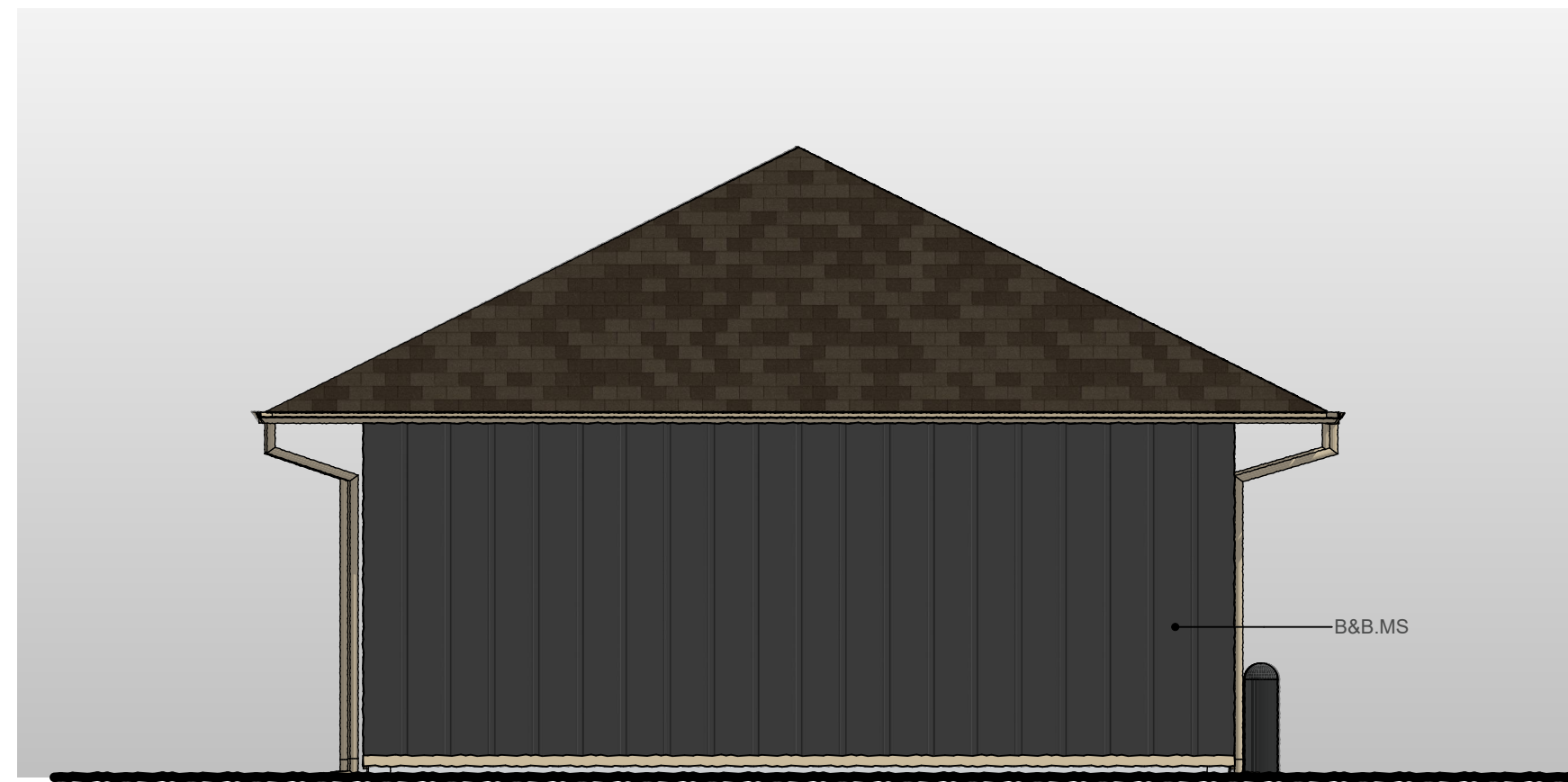
SPECIFIC NOTES:
 ① MOUNT NEW FIXTURES ON EXISTING J-BOX.

LIGHT FIXTURE SCHEDULE							
LETTER DESIG.	FIXTURE			LAMP		NOTES	
	MANUFACTURER	CATALOG NO.	LOCATION	TYPE	NO.		
A	LSI	SDL4LED80FLUNV40 80CRI OCSUE	CEILING	SURFACE	61W LED	-	
B	LSI	WPSLS4L40PC120 BZA	WALL	SURFACE	40W LED	-	

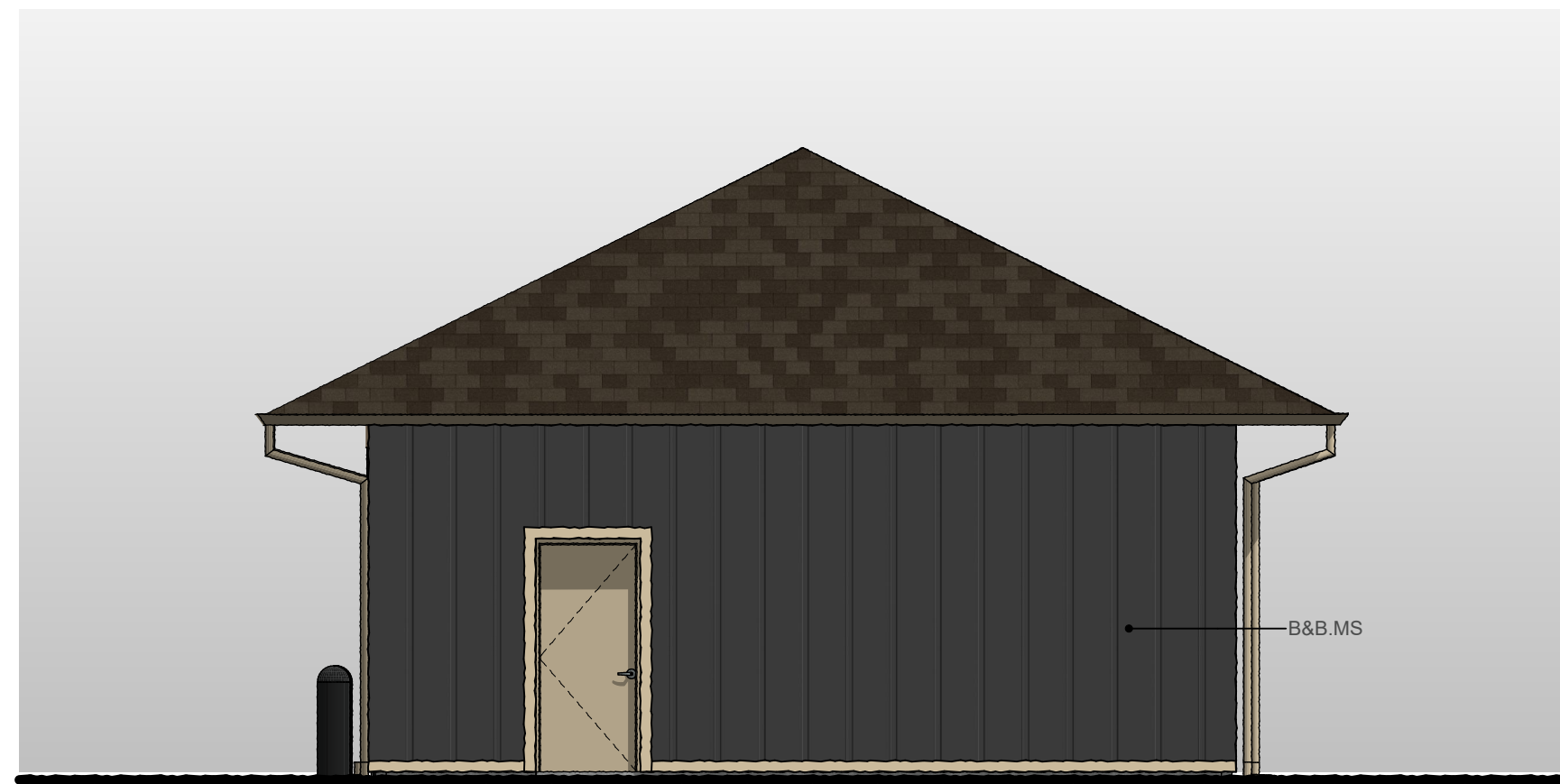


REVISIONS	DATE	ISSUANCE

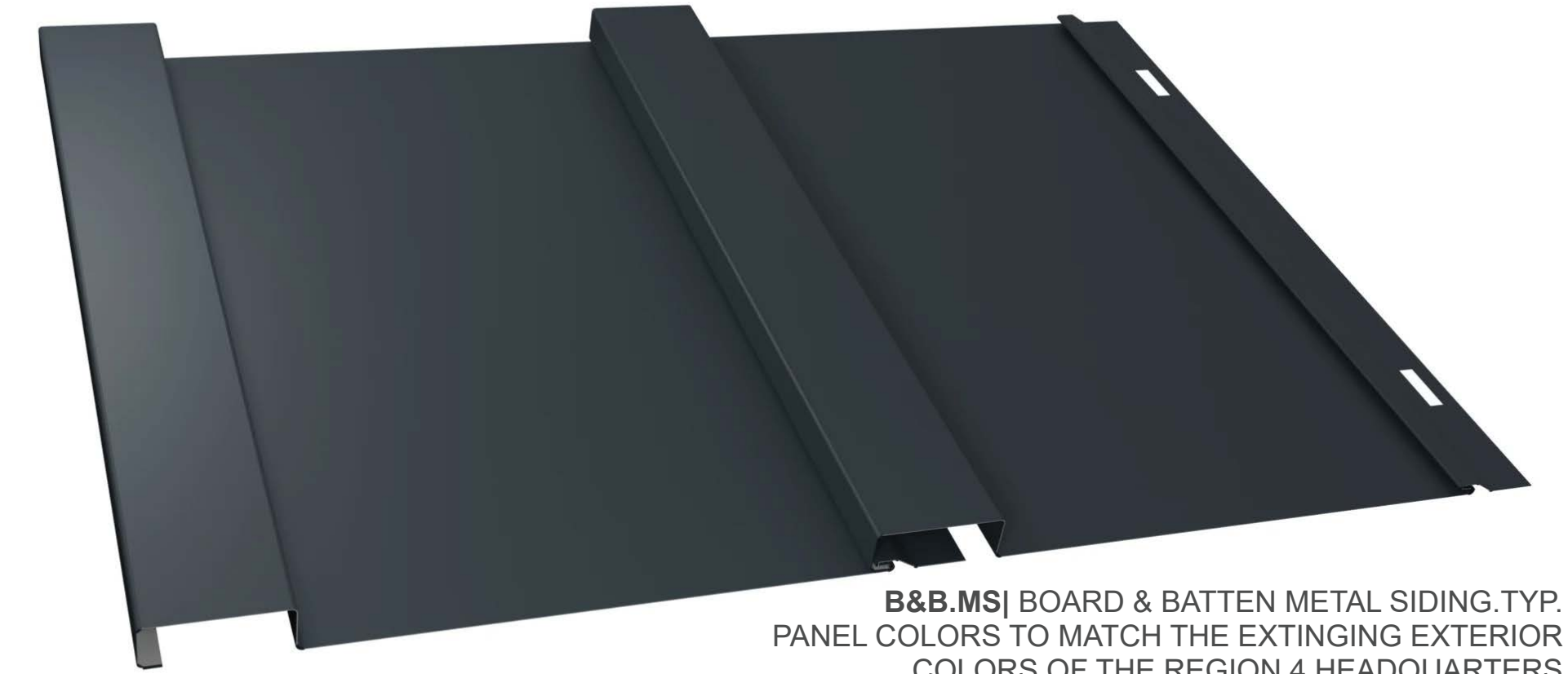
SD
 02.24.2024
 DRAWN BY: DR APPROVED BY: CC
 ELECTRICAL DEMO PLAN & REVISED ELECTRICAL PLAN
 SHEET NUMBER



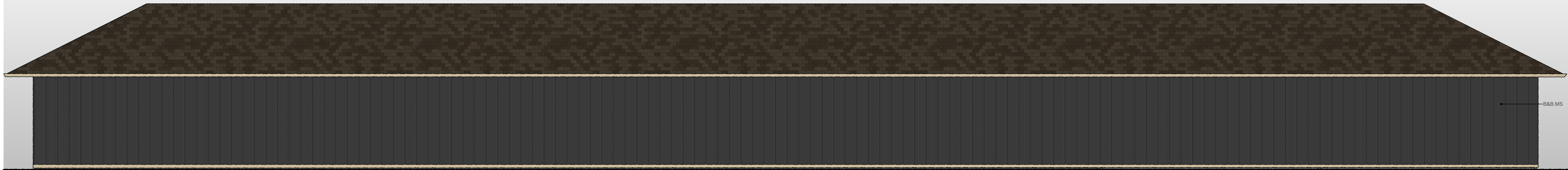
3 East Elevation
NOT TO SCALE



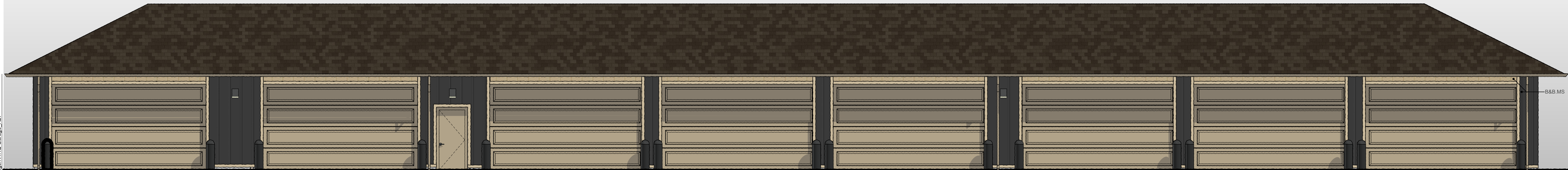
4 West Elevation
NOT TO SCALE



B&B.MSJ BOARD & BATTEN METAL SIDING.TYP.
PANEL COLORS TO MATCH THE EXISTING EXTERIOR
COLORS OF THE REGION 4 HEADQUARTERS



2 South Elevation
NOT TO SCALE



1 North Elevation
NOT TO SCALE



ARCHITECTURE
410 Central Ave, Suite 506, Great Falls, MT 59401
t. 406.453.0001 f. 406.760.1788
www.bsparkarch.com

COPYRIGHT © 2024 BSPARK ARCHITECTURE

REGION 4 HEADQUARTERS GARAGE ADDITION

4600 GIANT SPRING RD, GREAT FALLS, MT, 59405

PROJECT NUMBER: 24048

PHASE: SD
SHEET ISSUE DATE: 10.08.2024
SHEET NUMBER

A1