

## Region 4 FAS Storage Building at Custer Avenue - REBID

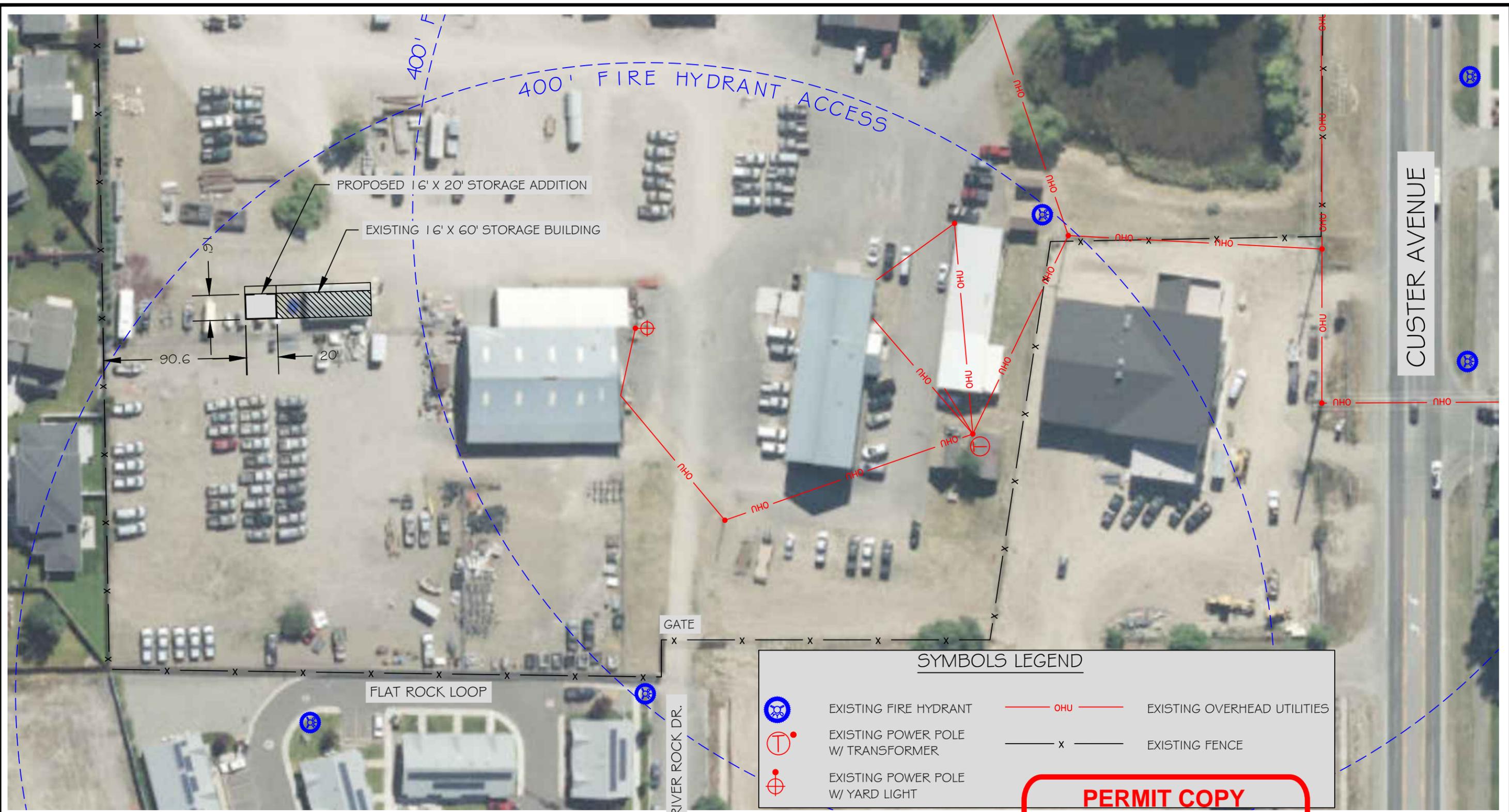
### Section 01010 Summary of Work

**Project contact:** Bardell Mangum, PLA  
Montana Fish, Wildlife & Design  
P.O. Box 200701  
Helena, MT 59620  
(406) 841 – 4012 Office  
(406) 431 – 4062 Cell

Notes: No pre-bid conference will be held. Please contact Bardell Mangum to arrange individual site visit if desired.

Contractor to provide the following:

- Secure Electrical permits required for construction. City of Helena Building Permit has been acquired by Owner and Permit Copy is included in the bid documents.
- Locate utilities prior to excavation.
- Provide submittals for all materials that differ from the plans and specifications for approval prior to construction.
- Construct storage unit addition per the attached architectural plans (photos of existing units also attached for reference) and per the following:
  - Match exterior finishes of existing storage units.
  - Paint exterior of new unit and touch up any damage to existing units.
  - Slope concrete apron from floor slab to existing grade as specified.
  - Install 8’x8’ overhead door as specified (note: some existing units utilize swing doors).
  - Import necessary clean fill material for building construction per plans and grade 4” lift of ¾”(-) compacted gravel base material to match adjacent grades (per MPWSS Sixth Edition)
- Extend power to existing panel located at rear of building to install:
  - One 120V duplex outlet approximately centered on interior of each wall at counter height (3 total).
  - One 120v weather resistant duplex outlet w/cover on exterior of front wall.
  - Two 4’ 120v 2-light LED strip fixtures (Lithonia CDS L48 or equivalent) suspended from ceiling. Fixtures to be plugged into duplex outlet(s) controlled by a single switch mounted on interior of front wall, adjacent to overhead door. Fixtures shall not be obscured by overhead door when opened.



**SYMBOLS LEGEND**

	EXISTING FIRE HYDRANT		EXISTING OVERHEAD UTILITIES
	EXISTING POWER POLE W/ TRANSFORMER		EXISTING FENCE
	EXISTING POWER POLE W/ YARD LIGHT		

**PERMIT COPY**  
THIS SET OF APPROVED  
PLANS TO BE ON JOB SITE  
AT ALL TIMES



**Site Plan**



B. Mangum	2/27/2020		
DRAWN BY:	DATE:	APPROVED BY:	DATE:
CHECKED BY:	DATE:	APPROVED BY:	DATE:



**Site Plan - REBID**  
Region 4 FAS Storage Addition at Custer Avenue

SHEET: 2 of 2



# B J E R K E A R C H I T E C T S P L L C

DATE: February 27, 2020

TO: City of Helena  
Building Department  
Helena, MT

FROM: Susan Bjerke  
Bjerke Architects

RE: Region 4 FAS Storage Addition for  
State of MT Fish Wildlife and Parks  
Storage Building Expansion  
930 W Custer Avenue  
Helena, MT

Attached are the previous plans for a storage building compiled by Bjerke Architects for FWP. This new project includes one additional 20' storage bay. I have reviewed the plans and noted the modifications to be incorporated into this project. Also provided is an updated 2012 IBC summary.

It is my understanding that FWP will provide a site plan under separate cover.

Please advise if additional information is required.

Thank you.

**CITY OF HELENA**  
Building Division  
447-8437 or 447-8438  
REFER TO RECORD CARD  
FOR REQUIRED INSPECTIONS

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## APPROVED

**City of Helena Building Division**

Approval of this document does not authorize the violation of any state, county, or city law or regulation.

Permit Number: BCOM20-00036

By: Alex Tommerup

Date: 3/19/2020

Remarks: See Comments

**IT IS UNLAWFUL TO OCCUPY  
THIS BUILDING PRIOR TO THE  
FINAL INSPECTION**

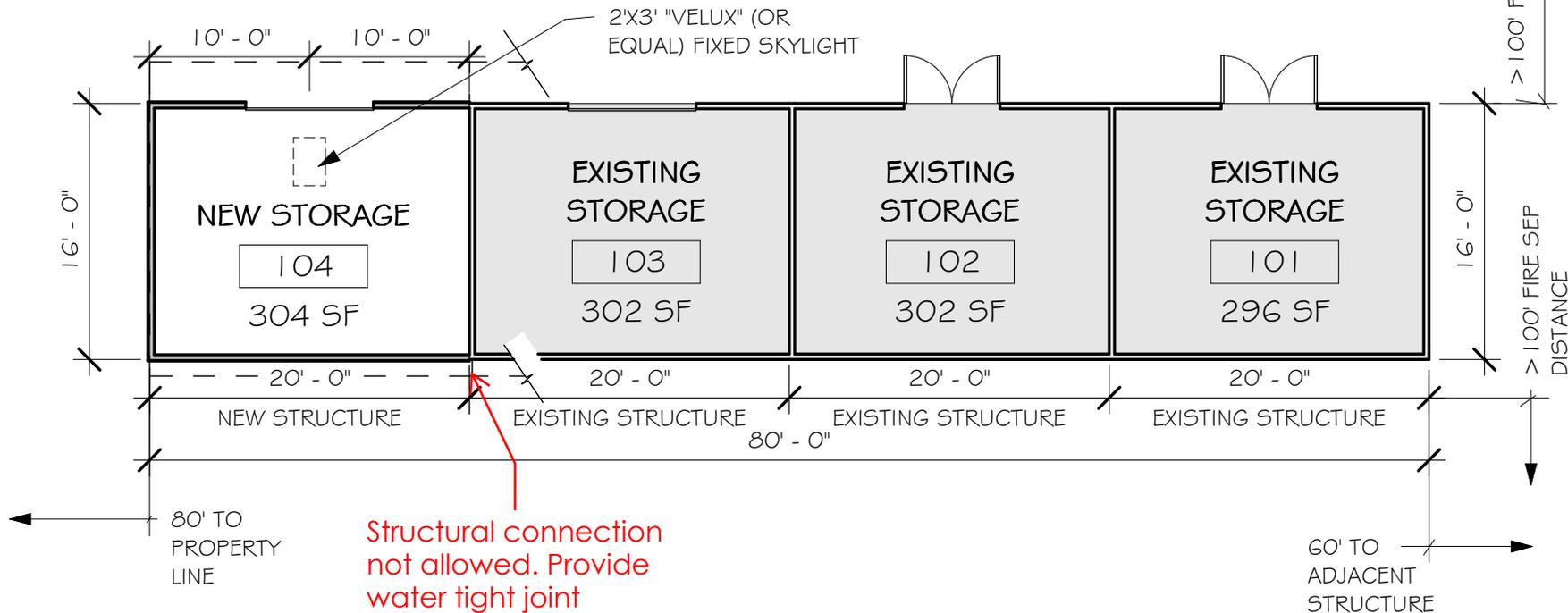
2905 N. Montana Ave., Suite 202  
Helena, MT 59601  
T 406.443.5801  
F 406.442.2450  
www.bjerkearchitects.com

2012 IBC SUMMARY

CHAPTER 3: OCCUPANCY CLASSIFICATION: S-1 - MODERATE HAZARD STORAGE  
 CHAPTER 5: ALLOWAGE AREA: S-1/V-B = 9,000 SF. 1280 ACTUAL, OK  
 CHAPTER 6: CONSTRUCTION CLASSIFICATION: V-B (COMBUSTIBLE, NON-PROTECTED)  
 TABLE 602: EXTERIOR WALL FIRE RATINGS NOT REQUIRED SINCE > 30' FIRE SEP DISTANCE  
 CHAPTER 10: TABLE 1004.1.2, WAREHOUSE: 500 GROSS SF/OCC.  
 EACH ROOM: 302/500 = 1 OCCUPANT/ 304/500 = 1 OCCUPANT. TOTAL OCCUPANCY = 4.  
 1008.1.2: DOOR SWING: EGRESS DOORS SHALL BE PIVOTED OR SIDE HINGED,  
 EXCEPTION 1: ....STORAGE AREAS WITH AN OCCUPANT LOAD < 10. APPLIES THIS  
 PROJECT, THEREFORE NEW STORAGE ROOM 104 PERMITTED TO HAVE SINGLE  
 OVERHEAD DOOR FOR ACCESS AND EGRESS.



**B J E R K E**  
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 www.bjerkearchitects.com



REGION 4 FAS STORAGE ADDITION AT:  
**MT FISH WILDLIFE AND PARKS**  
 930 W CUSTER AVENUE  
 HELENA, MONTANA

<b>PLAN AND CODE SUMMARY</b>	
PROJECT #	20.005
DATE:	02.27.2020
DRAWN BY:	SDB
CHECKED BY:	SDB
<b>CODE 1</b>	
OF	1

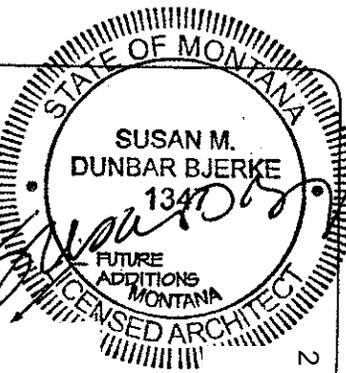
1 MAIN FLOOR PLAN  
 3/32" = 1'-0"

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SEE SITE PLAN BY  
 OWNER FOR BUILDING  
 LOCATION

PLOT DATE: 2/27/2020 10:17:06 AM

Structural connection not allowed.  
Provide water tight connection



BJERKE  
ARCHITECTS  
2008 N. MONTANA B. 202  
HELENA, MONTANA 59601  
PH: 406/443-1100  
FAX: 406/443-0100

2 27 2020

NOTE:  
NO ROOF  
OVERHANG 2  
NORTH ALL TO  
ALLOW FOR  
FUTURE  
ADDITIONAL  
UNITS

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NEW STORAGE SHED FOR:  
**MT FISH, WILDLIFE & PARKS**  
CUSTER AVE  
HELENA, MONTANA

DATE: 6 16 08  
DRAWN BY: JFB  
CHECKED BY: SDB  
PROJECT #:  
SHEET No:  
**A-1**  
OF 5 SHEETS

CONT. RAIN  
GUTTER

DOWNSPOUT

4" THICKENED EDGE  
CONC. SLAB  
ON 4" COMPACTED  
GRAVEL SUBBASE  
NO SLOPE

20'-0"



16'-0"

2X4 @ 16" O/C

8'0" X 8'0" NON-INSUL OVERHEAD DOOR,  
PREFINISHED "WHITE" COLOR,  
WAYNE DALTON MODEL 46, RIBBED STEEL,  
NOMINAL 24-GA METAL DOOR, MANUAL  
OPERATION, EXTERIOR LOCK, PERIMETER  
WEATHERSTRIP AND DOOR BOTTOM.  
(OR EQUAL)

3-1/2" X 7-1/2" GLB HEADER  
24F-V4

16'-0"

ROOF  
OVERHANG

PROVIDE SOLID 2x BEARING AT EACH  
END OF HEADER (TYP)

DOWNSPOUT

4'-0" CONC.  
APRON W/  
BROOM FIN,  
SLOPE AWAY  
FROM BLDG.

2'-6"

CONT. RAIN  
GUTTER

10'-0"

10'-0"

20'-0"

**FLOOR PLAN**

1/4" = 1'-0"



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**BJERKE**  
 ARCHITECTS  
 1001 N. MONTANA # 202  
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 (406) 261-8100  
 FAX (406) 261-8180

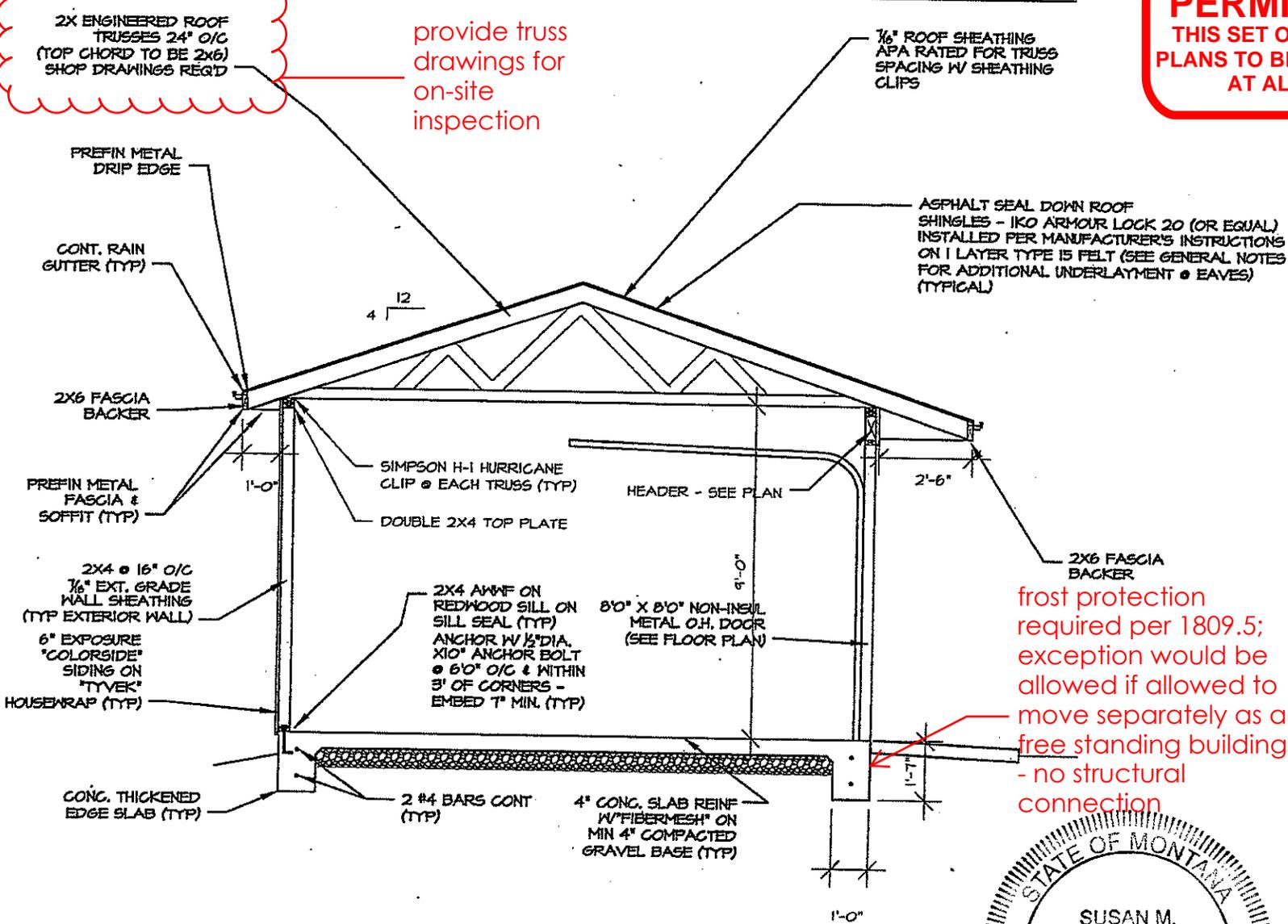
NEW STORAGE SHED FOR:  
**MT. FISH, WILDLIFE & PARKS**  
 CUSTER AVE.  
 HELENA, MONTANA

DATE: 02/26/20  
 DRAWN BY:  
 CHECKED: SOB  
 REV:

PROJECT #:  
 SHEET NO:  
**A-2**  
 OF 5 SHEETS

2X ENGINEERED ROOF  
 TRUSSES 24" O/C  
 (TOP CHORD TO BE 2X6)  
 SHOP DRAWINGS REQ'D

provide truss  
 drawings for  
 on-site  
 inspection



frost protection  
 required per 1809.5;  
 exception would be  
 allowed if allowed to  
 move separately as a  
 free standing building  
 - no structural  
 connection

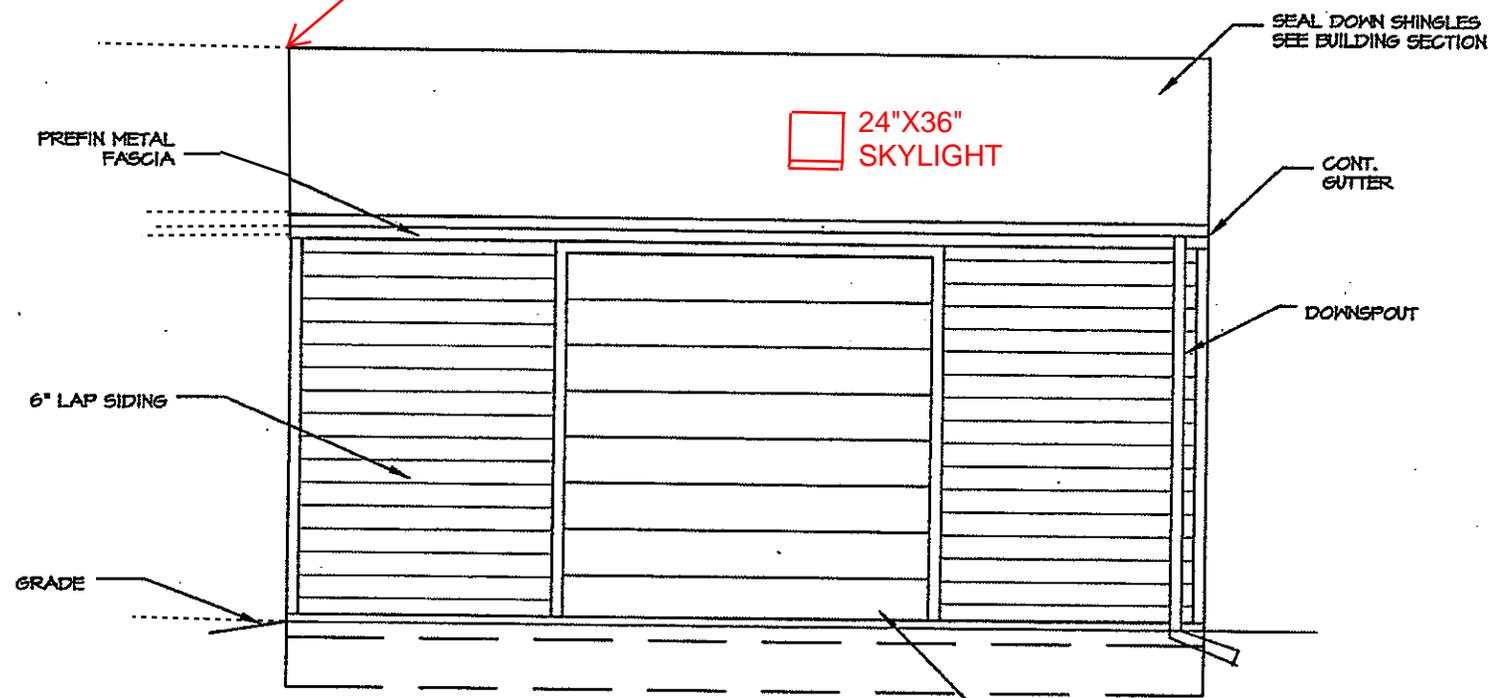


1 SECTION  
 A-2 1/4" = 1'-0"

2 27 2020

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Structural connection not  
 allowed to existing building,  
 provide water tight covering  
 at joint



PREFIN METAL FASCIA

6" LAP SIDING

GRADE

24"X36"  
 SKYLIGHT

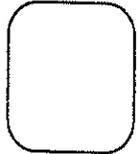
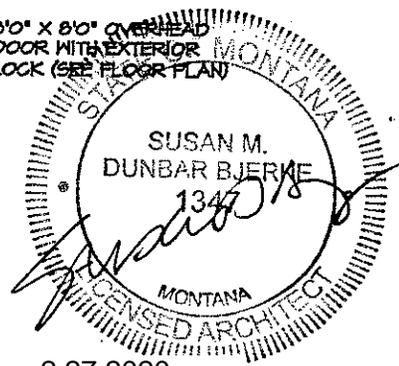
SEAL DOWN SHINGLES  
 SEE BUILDING SECTION

CONT.  
 GUTTER

DOWNSPOUT

8'0" X 8'0" OVERHEAD  
 DOOR WITH EXTERIOR  
 LOCK (SEE FLOOR PLAN)

**EAST ELEVATION**  
 1/4" = 1'-0"



**B J E R K E**  
**A R C H I T E C T S**  
 2100 N. MONTANA # 202  
 HELENA, MONTANA 59601  
 (406) 448-3401  
 FAX (406) 442-3440

NEW STORAGE SHED FOR,  
**MT. FISH, WILDLIFE & PARKS**  
 CUSTER AVE  
 HELENA, MONTANA

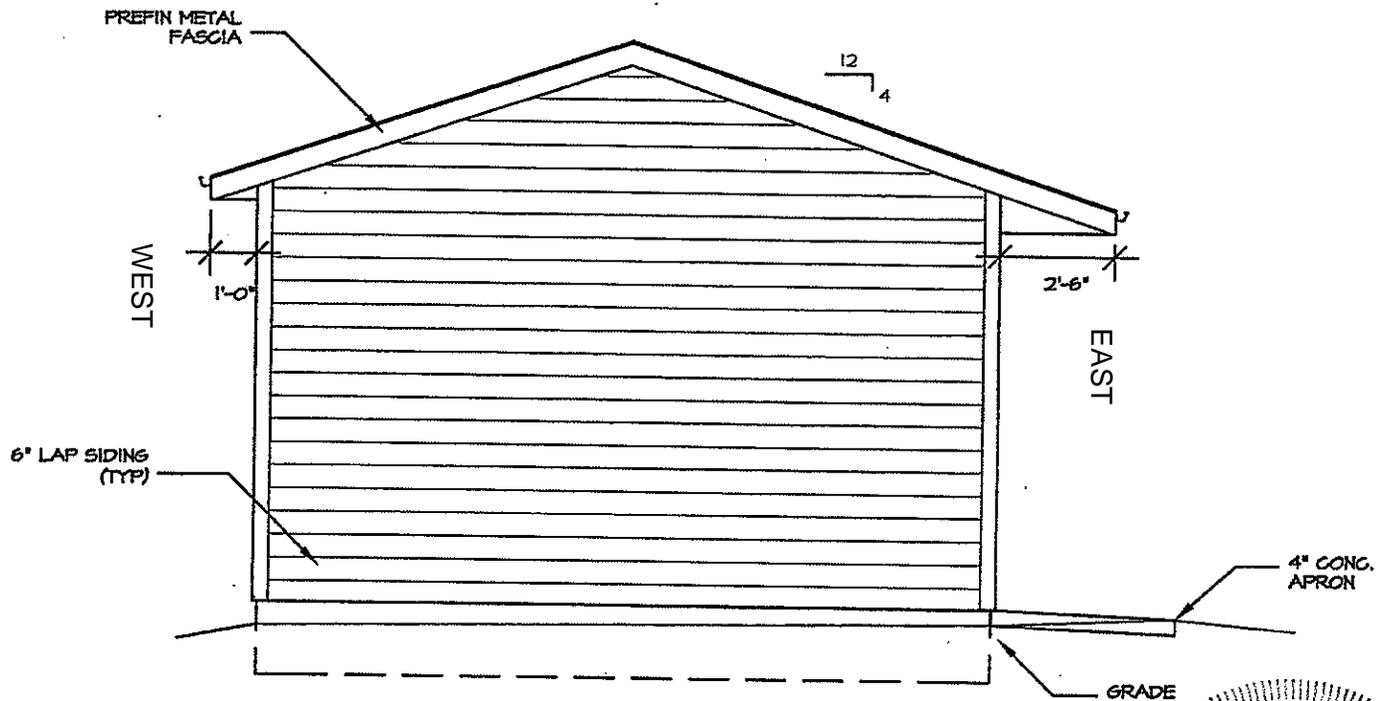
DATE: 6/16/20  
 DRAWN: JTB  
 CHECKED: SOB  
 REV: \_\_\_\_\_

PROJECT #:  
 SHEET NO:  
**A-3**  
 OF 5 SHEETS

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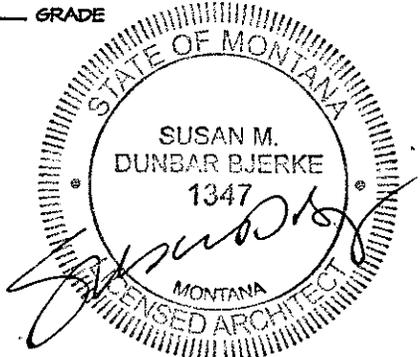


**B JERKE**  
 ARCHITECTS  
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 HELENA, MONTANA 59601  
 (406) 261-1100  
 FAX (406) 261-0180



(NOTE: NO SIDING ON SOUTH ELEVATION -  
 ABUTS EXISTING BUILDING)

**SOUTH ELEVATION**  
 1/4" = 1'-0" NORTH ELEVATION  
 (SIM) REVERSED



NEW STORAGE SHED FOR:  
**MT. FISH, WILDLIFE & PARKS**  
 CUSTER AVE  
 HELENA, MONTANA

DATE:	6 16 20
DRAWN:	SP
CHECKED:	SOB
REV:	

PROJECT #:  
 SHEET NO:  
**A-4**  
 OF 5 SHEETS

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GENERAL NOTES:

ROOFING:

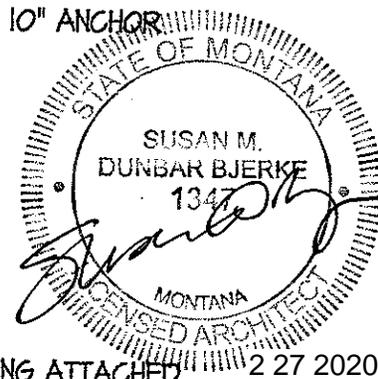
1. GALVANIZED NAILS TO ANCHOR ROOFING. MINIMUM 4 NAILS PER STRIP SHINGLES LESS THAN 36" WIDE. MINIMUM 2 NAILS PER SHINGLE LESS THAN 18" WIDE.
2. ROOF UNDERLAYMENT: FOR ROOF SLOPES 2:12 TO 4:12 SHINGLES SHALL BE APPROVED SELF-SEALING WITH TWO LAYERS OF TYPE 15 FELT APPLIED SHINGLE FASHION STARTING WITH 18" WIDE SHEET AT EAVES AND A 36" SHEET OVER IT, LAP ALL OTHER LAYERS 19". FOR ROOF SLOPES 4:12 AND OVER UNDERLAY WITH ONE LAYER TYPE 15 FELT LAPPED 2 INCHES HORIZONTALLY AND 4 INCHES VERTICALLY.
3. ADDITIONAL ROOFING UNDERLAYMENT: AT EAVES, PROVIDE ONE LAYER OF #40 COATED ROOFING OR COATED GLASS BASE SHEET APPLIED FROM EAVES TO A LINE 24 INCHES INSIDE THE EXTERIOR WALL LINE FOR ROOF SLOPED 2:12 TO 4:12 AND TO A LINE 12 INCHES INSIDE THE EXTERIOR WALL LINE FOR ROOFS SLOPED 4:12 AND OVER - CEMENT ALL LAPS.
4. ROOF FLASHING: INSTALL MINIMUM 26 GAUGE GALVANIZED FLASHING AT ALL VALLEYS AND ROOF PENETRATIONS. EXTEND MINIMUM 8" EACH SIDE OF VALLEY. ADDITIONAL LAYER OF TYPE 15 FELT REQUIRED UNDER VALLEY FLASHING, MINIMUM 36" WIDE.
5. ROOF/WALL JUNCTURE FLASHING: INSTALL MINIMUM 26 GAUGE GALVANIZED METAL OR PRE FINISHED METAL FLASHING. EXTEND FLASHING MINIMUM 8" VERTICAL.

FOUNDATIONS:

1. REDWOOD OR A.W.J.F. FOR ALL MUD SILLS. ANCHOR TO FOUNDATION WALL WITH 1/2" DIAMETER x 10" ANCHOR BOLTS WITH MINIMUM 7" EMBEDMENT, SPACED AT 6'-0" O/C AND WITHIN 2' OF EACH WALL END.
2. 3000 PSI CONCRETE FOR ALL FOUNDATION WALLS, FOOTINGS AND INTERIOR SLABS.
3. GRADE 60 REBAR IN CONCRETE WALLS (SPACED PER PLANS).
4. 4000 PSI CONCRETE FOR EXTERIOR CONCRETE SLABS.
5. SOIL BEARING CAPACITY ASSUMED AT 1500 PSF - NOT TESTED.

FRAMING:

1. #2 OR BETTER DOUGLAS FIR/LARCH FOR ALL FRAMING MEMBERS UNLESS OTHERWISE SPECIFIED.
2. FIRE BLOCK AT 10' MAXIMUM HORIZONTAL AND VERTICAL.
3. SHEAR WALLS AT CORNERS WITHOUT FULL 4'x8' SHEET OF SHEATHING SHALL HAVE WALL SHEATHING ATTACHED DIRECTLY TO FRAMING MEMBER AT ALL PANEL EDGES (BLOCKING REQUIRED AT PANEL JOINTS) WITH 8d COMMON OR GALVANIZED BOX NAILS AT 4" O/C. CUT PANELS FROM FULL 4'x8' SHEET IN "T" OR "L" SHAPES AROUND OPENINGS.
4. BLOCK AND CROSS BRACE TRUSSES AS REQUIRED BY MANUFACTURER.
5. NAILING FOR FRAMING MEMBERS SHALL COMPLY WITH 1997 UBC.
7. WALL & ROOF SHEATHING TO BE RATED FOR SPACING OF FRAMING MEMBERS.
8. GALVANIZED ANCHORS FOR ALL EXTERIOR WORK. (I.E. FASCIA, TRIM, SOFFIT, SIDING, ETC).
9. TRUSS PLANS TO BE AVAILABLE ON SITE FOR BUILDING INSPECTIONS.



**B J E R K E**  
ARCHITECTS  
3108 N. MONTANA # 202  
HELENA, MONTANA 59601  
PH: (406) 442-2480

NEW STORAGE SHED FOR:  
**MT FISH, WILDLIFE & PARKS**  
CUSTER AVE  
HELENA, MONTANA

DATE: 6/16/08  
DRAWN BY: [Signature]  
CHECKED BY: SDB  
REV: [Signature]  
PROJECT #:  
SHEET NO:  
**A-5**  
OF 5 SHEETS